



**CITY OF DARDENNE PRAIRIE
2032 HANLEY ROAD
DARDENNE PRAIRIE, MO 63368**

**PLANNING AND ZONING COMMISSION AGENDA
Work Session
JANUARY 15, 2025
6:00 p.m.**

CALL MEETING TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

Alderman Detweiler
Chairman Wooldridge
Commission members:
Bailey
Etzkorn
Fry
Musler
Northcutt
Ogle
Pollard
Stankovich

ITEMS FOR DISCUSSION

1. Amended PUD Final Plan Request – Dardenne Prairie (Town Square) Apartments
 2. Amended PUD Final Plan & Record Plat Request – Condos at Town Center
 3. PUD Final Plan – Town Square (Mercy)
 4. Amended PUD Final Plan Request – Prairie Encore- Parking Garages
 5. 2020 Comprehensive Plan / Town Square Vision Process Scenario Plan
6. ADJOURNMENT

DARDENNE



PRAIRIE

**CITY OF DARDENNE PRAIRIE
2032 HANLEY ROAD
DARDENNE PRAIRIE, MO 63368**

**PLANNING AND ZONING COMMISSION AGENDA
January 15, 2025
7:00 p.m.**

CALL MEETING TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL Alderman Detweiler
Chairman Wooldridge
Commission members:
Bailey
Etzkorn
Fry
Musler
Northcutt
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PUBLIC COMMENT

NEW BUSINESS

1. Amended PUD Final Plan Request –Dardenne Prairie (Town Square) Apartments
2. Amended PUD Final Plan & Record Plat Request – Condos at Town Center
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4. Amended PUD Final Plan Request – Prairie Encore- Parking Garages
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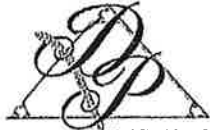
APPROVAL OF MINUTES

1. Approval of 12-11-24 Minutes
2. Approval of 12-11-24 Work Session Minutes

COMMISSION COMMUNICATIONS

ADJOURNMENT

DARDENNE



PRAIRIE

City Hall
2032 Hanley Road
Dardenne Prairie, MO 63368
Phone 636.561.1718
Fax 636.625.0077

P.U.D. REQUEST – FINAL PLAN

CITY OF DARDENNE PRAIRIE, MISSOURI

www.DardennePrairie.org

APPLICANT:

Bax Engineering _____

Company Name

Clifford L. Heitmann _____

Printed Name, Title

221 Point West Blvd _____

Street Address

St. Charles, MO 63301 _____

City/State/Zip Code

636-928-5552 _____ N/A

Telephone

Facsimile

STREET ADDRESS OF PROPERTY: Technology Drive (Loc. #T161800002) _____

OWNER (attach additional):

Moline Management, LLC _____

Printed Name

Charlie Moline (Member) _____

Printed Name

205 W. Walnut St. Ste 200 _____

Street Address

Springfield, MO 65806 _____

City/State/Zip Code

907-321-4689 _____ N/A

Telephone

Facsimile

Contract Purchaser/Developer:

ZM Management _____

Company Name

John McCarthy (Associate) _____

Printed Name, Title

1100 Woodchase Lane _____

Street Address

Chesterfield, MO 63017 _____

City/State/Zip Code

314-469-0029 _____ N/A

Telephone

Facsimile

LEGAL DESCRIPTION OF PROPERTY (other than address) See Attached _____

EXISTING ZONING: C-3 _____

PROPOSED USE: C-3 _____

FINAL PLAN REVIEW FEE SUBMITTED: 874.88 _____

PUD REQUEST - FINAL PLAN

1. The submitted final plan shall be prepared on sheet(s) not to exceed twenty-four (24) inches by thirty-six (36) inches and meet the requirements of Article IV "PUD Planned Unit Development"
2. A landscape plan on sheet(s) not to exceed twenty-four (24) inches by thirty-six (36) inches and meeting the requirements of Article IX "Landscaping and Screening" shall be included as part of the final plan submitted.
3. The final plan shall conform to the approved area plan, except that minor variations in layout may be permitted at the discretion of the City and without amendment of the approved area plan.

Note: All plans, architectural drawings, renderings or other materials or visual aids either submitted to the Commission and/or Board of Aldermen or presented at their meeting shall become the property of the City and part of the permanent record of any approval.

____ Two (2) copies of the plan are provided.
Additional copies for distribution to Planning and Zoning Commission and Board of Aldermen members will be requested upon review by the City Engineer.

____ Electronic and paper copy of legal description of the property are provided. Electronic files may be sent via email to the Planning Manager (tstreiler@dardenneprairie.org).

____ The applicant is required to appear before the Planning and Zoning Commission and Board of Aldermen.

Please Note:


Prior to approval of a Building Permit, the appropriate Fire Protection District will need to review and approve the development. Any signage to be placed on the subject property requires a separate Sign Permit or Master Sign Plan. Any business occupying the site requires approval of a Business License.



Applicant's Signature

12/16/24

Date



Owner's Signature

12/13/24

Date

NOTE: By affixing signatures to this application form, the Applicant and Owner hereby verify that: they have reviewed the applicable zoning regulations; they are familiar with the specific requirements relative to this application; and they take full responsibility for this application. The above signatures further indicate that the information provided on this form and on any additional data attached hereto is true, complete, and accurate.



Todd M. Streiler AICP, LEED AP
Planning & Development Manager
Tstreiler@DardennePrairie.org
Phone 636.755.5314

Staff Report

TO: Planning and Zoning Commission

FROM: Todd Streiler, Planning & Development Manager

DATE: January 15, 2025

SUBJECT: Dardenne Prairie Apartments 1st Amended Final Plan

Project Summary:

At the December 11, 2024 meeting, the Planning Commission passed a motion recommending the Board approve the 1st Amended Area Plan and on January 8, 2025 the Board approved the 1st Amended Area Plan. The approved 1st Amended Area Plan includes five (5) 3-story apartment buildings containing 144 apartment units with 48 1-bedroom units, 84 2-bedroom units, and 12 3-bedroom units and 282 parking stalls resulting in a parking ratio of 1.96 stalls per unit. The plan also includes a pool, clubhouse, pickleball court, and a dog park. Staff reviewed the 1st Amended Final Plan and there have not been any changes or deviations from the approved 1st Amended Area Plan. A fee in the amount of \$903.31 was paid for the review of the Amended PUD Final Plan.

Zoning Compliance Summary

The 6-acre Dardenne Prairie Apartments site was rezoned from “New Development District” to C-3 PUD on June 21, 2023, via Ordinance #2254 with no notable conditions. The Final Plan was approved on September 20, 2023, via Ordinance #2271 and reapproved on September 18, 2024, via Ordinance #2316. The following “C3” Retail Commercial District regulation deviations were noted on the Approved 1st Amended Area Plan:

1. Exempt the 2-parking stalls per unit ratio. **The PUD approved parking ratio is 1.96**
2. Exempt the 25' front yard setback/buffer at the north property line. **The PUD approved +/- 12' setback.**
3. Exempt the 15' rear yard setback/buffer at the south property line. **The PUD approved a +/- 10' setback.**
4. Exempt the maximum density of 12 units per acre. **The PUD approved a density of 22.7 units per acre.**

The project meets the following “RM” Multifamily District minimum design criteria:

1. All buildings shall be architecturally treated on all sides to create a consistent and attractive building appearance. Materials such as masonry, brick, stucco, wood or dryvit type material shall be required on a minimum of fifty percent (50%) of all building faces. The Planning and Zoning Commission may approve other materials that provide similar or equal architectural standards.
2. Mechanical equipment, utility hardware and heating and cooling equipment on any roof, ground or building shall be screened from public view with walls of brick, wood or other similar

architectural material, harmonious to the building extending to the highest point of projection from all sides.

3. Exterior lighting shall be part of the architectural concept. Fixtures, standards and all exposed accessories shall be harmonious with the building design.
4. Monotony of design shall be avoided. Variation of form and placement shall be used to provide visual interest. In multiple building projects, variable placement of individual buildings may be used to prevent monotonous appearance.

The Landscape Plan and Photometric Plan also meet the applicable requirements: no additional deviations are needed or being requested at this time.

Recommended Action

The petitioner is requesting approval of the 1st Amended Final Plan. Upon review, Staff found no deviations from the approved 1st Amended Area Plan. The Landscape Plan, Architectural Elevations and Photometric Plans meet the City's applicable requirements. Staff recommends the Planning Commission pass one of the following motions:

- A. Motion to recommend the Board approve the Amended Final Plan as submitted.**
- B. Motion to recommend the Board approve the Amended Final Plan with conditions.**

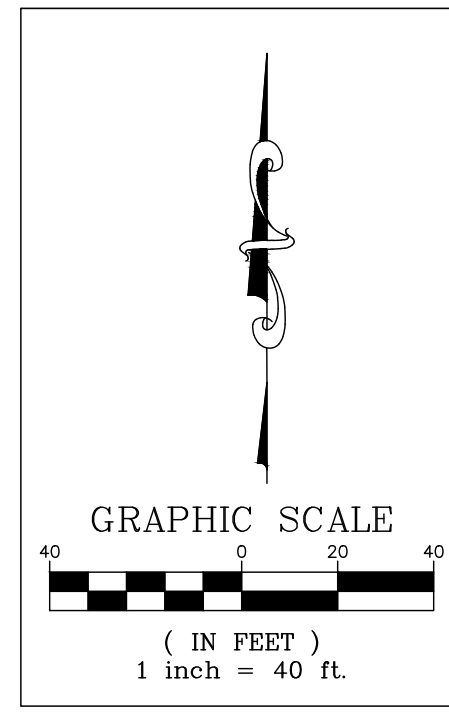
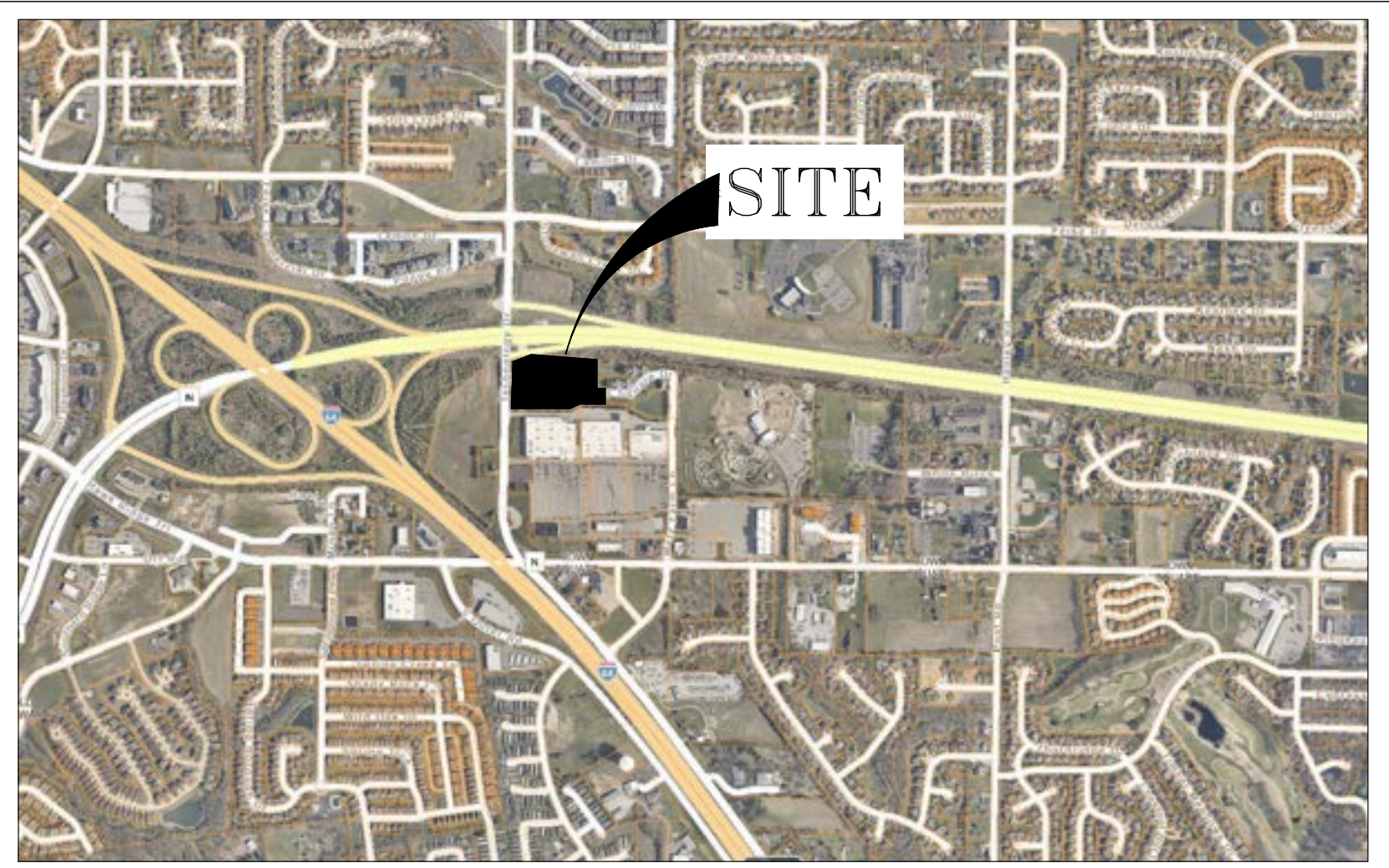
Motions should be in the affirmative. Should a commissioner decide to deny the 1st Amended Final Plan, they should vote "Nay" to a motion to approve.

Next Steps

Review and final consideration of the PUD Amended Final Plan by the Board.

Enclosures

cc: Mayor John Gotway and Board of Aldermen
Cathy Pratt, Interim City Administrator
Kim Clark, City Clerk
John Young, City Attorney



AMENDED PUD FINAL PLAN DARDENNE PRAIRIE APARTMENTS

THREE TRACTS OF LAND BEING ALL OF LOT 2 OF "TOWN SQUARE APARTMENTS LOT SPLIT", A SUBDIVISION ACCORDING TO THE INSTRUMENT RECORDED IN PLAT BOOK 48 PAGE 116 OF THE ST. CHARLES COUNTY RECORDS; ALL OF ADJUSTED COMMON GROUND C OF "RESUBDIVISION OF LOTS A, B, 12, 13, AND 14, COMMON GROUND C AND COMMON GROUND D OF DARDENNE TOWN SQUARE", A SUBDIVISION ACCORDING TO THE INSTRUMENT RECORDED IN PLAT BOOK 43 PAGE 77 OF SAID RECORDS; AND ALL OF A TRACT OF LAND CONVEYED TO MOLINE MANAGEMENT, LLC AND DESCRIBED AS EXCESS PARCEL NUMBER SL-0404 ACCORDING TO THE INSTRUMENT RECORDED AS DOCUMENT NUMBER 2023R-008715 OF SAID RECORDS, ALL IN FRACTIONAL SECTION 2, TOWNSHIP 46 NORTH, RANGE 2 EAST, CITY OF DARDENNE PRAIRIE, ST. CHARLES COUNTY, MISSOURI.

DEVELOPMENT NOTES: DARDENNE PRAIRIE PROJECT NO. 972290

- THIS PROPERTY IS REFERENCED AS THE FOLLOWING PARCEL I.D. NUMBERS OF THE ST. CHARLES COUNTY ASSESSOR'S OFFICE:
PARCEL ID: 4-0033-C218-00-0002.000000 (5.57 ACRES)
4-0033-C218-00-000C.000000 (1.76 ACRES)
APARTMENT SITE WILL INCLUDE 6.34 ACRES OF DEVELOPMENT, THE REMAINING 0.99 ACRES WILL BE THE DETENTION BASIN
- EXISTING ZONING: C-3 PUD - MULTI-FAMILY
- SITE ADDRESS: TECHNOLOGY DRIVE DARDENNE, MO 63368
- PROPOSED USE: APARTMENTS
OWNERS: MOLINE MANAGEMENT LLC 205 WEST WALNUT ST. SUITE 200 SPRINGFIELD, MO 65806
TOWN SQUARE APARTMENTS LP 9050 MARYLAND AVE. SUITE 1300 CLAYTON, MO 63105
- CONTRACT PURCHASER: ZM MANAGEMENT 1100 WOODCHASE DRIVE CHESTERFIELD, MO 63017
- BUILDING SETBACKS:
FRONT YARD = 25 FEET (EXEMPTIONS APPROVED AT NORTH PROPERTY LINE UNDER PUD TO BE LESS THAN 25 FEET)
SIDE YARD = 10 FEET
REAR YARD = 15 FEET (EXEMPTIONS APPROVED AT SOUTH PROPERTY LINE UNDER PUD TO BE LESS THAN 15 FEET)
- PARKING REQUIREMENTS:
CITY CODE 3 SPACES PER UNIT
144 UNITS X 3 = 432 SPACES
PUD EXEMPTION APPROVAL ALLOWED FOR 1.64 PARKING SPACES/UNIT.
THIS SUBMITTAL HAS A TOTAL ONSITE PARKING COUNT OF 282 SPACES AT 1.96 SPACES/UNIT.
TOTAL 1 BED UNITS 48
TOTAL 2 BED UNITS 84
TOTAL 3 BED UNITS 12
TOTAL UNITS ONSITE 144
PUD EXEMPTION ALLOWED FOR A DENSITY GREATER THAN 12 UNITS/ACRE (25.6 UNITS/ACRE)
THIS SUBMITTAL HAS A TOTAL DENSITY OF 22.7 UNITS/ACRE

STATEMENT OF AREA PLAN APPROVAL

ACCORDING TO SECTION 405.260 F. 1F THE AREA PLAN IS APPROVED BY THE BOARD OF ALDERMEN, THE APPLICANT SHALL REVIEW THE AREA PLAN IN ITS APPROVED FORM, THE APPLICANT AND THE OWNER(S) OF RECORD SHALL THEN SIGN A STATEMENT THAT THE APPROVED AREA PLAN SHALL BE BINDING UPON THE APPLICANT AND THE OWNER(S) OF RECORD AND UPON THEIR HEIRS, SUCCESSORS AND ASSIGNS. THE AREA PLAN SHALL NOT BE OFFICIALLY APPROVED NOR MAY THE APPLICANT SUBMIT A FINAL PLAN FOR THE LOT OR ANY PART THEREOF UNTIL SAID STATEMENT HAS BEEN SIGNED AS REQUIRED HEREIN. THE FOREGOING APPROVAL AND SIGNING SHALL CONSTITUTE OFFICIAL APPROVAL OF THE PUD DESIGNATION FOR THE SUBJECT TRACT. REZONING MAY BE MADE CONTINGENT UPON THE PUD STATEMENT BEING PROPERLY SIGNED.

EXEMPTIONS (WAIVER REQUIRED)

- PROPOSED SETBACK ON NORTH PROPERTY IS LESS THAN 25' (CODE SECTION 405.195 E4) (PLAT BOOK 42 PAGE 305).
- PROPOSED SETBACK ON SOUTH PROPERTY LINE IS LESS THAN 15 FEET. A PROPOSED 10 FOOT SETBACK WOULD BE PLACED ALONG THE SOUTH PROPERTY LINE (CODE SECTION 405.195 E4).
- NET DENSITY (DWELLING UNITS PER ACRE) IS GREATER THAN 12 (CODE SECTION 405.175 G5).
- PARKING PROVIDED IS LESS THAN REQUIRED (CODE SECTION 405.635).
- PROPOSED BUILDING SEPARATION IS LESS THAN 40 FEET (CODE SECTION 405.175 H 2B) UNITS WILL BE SPRINKLERED AND ARE ALLOWED TO BE CLOSER BASED ON FIRE RATINGS/CODES.
- 1 BEDROOM UNITS PROPOSED WILL BE 895 SQUARE FEET. CITY CODE HAS A MINIMUM OF 900 SQUARE FOOT PER UNIT (CODE SECTION 405.175 G4).
- PROPOSED TRANSITION STRIP ALONG SOUTH PROPERTY LINE IS LESS THAN 15 FEET.
A PROPOSED 10 FOOT BUFFER IS PROPOSED ALONG THE SOUTH PROPERTY LINE. (CODE SECTION 405.555 B1).

LOT AREA BREAKOUT

- BUILDINGS 1.58 ACRES
- PAVEMENT 3.29 ACRES
- OPEN SPACE 2.46 ACRES
- TOTAL DEV 7.33 ACRES

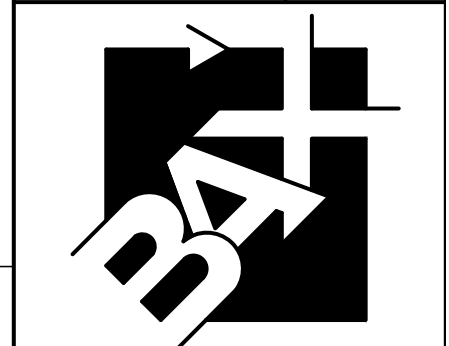
SHEET INDEX

- C-1 AREA PLAN SITE PLAN
- C-2 AREA PLAN GRADING PLAN
- C-3 EXISTING SITE CONDITIONS
- C-4 DETAILS
- C-5 PRELIMINARY STORMWATER MANAGEMENT PLAN

UNIT BREAKDOWN

- 1 BEDROOMS - 48 UNITS
- 2 BEDROOMS - 84 UNITS
- 3 BEDROOMS - 12 UNITS

AMENDED PUD FINAL PLAN
DARDENNE PRAIRIE APARTMENTS
 TECHNOLOGY DRIVE
 DARDENNE PRAIRIE, 63368
 PREPARED FOR:
 ZM MANAGEMENT
 1100 WOODCHASE DRIVE
 CHESTERFIELD, MO 63017
 314-479-2887



**ENGINEERING
PLANNING
SURVEYING**

221 Point West Blvd.
St. Charles, MO 63301
636-928-5552
FAX 928-1718

Box Engineering Company, Inc.
Missouri State Certificate of Authority
Engineering #000655
Surveying #000144

REVISIONS

NO.	DATE	DESCRIPTION
12-19-24		SITE LIGHTING

DISCLAIMER OF RESPONSIBILITY
I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey other than those authenticated by my seal.



CLIFFORD L. HEITMANN
Civil Engineer
Engineers License E-29817

11-22-24
DATE

24-19350
PROJECT NUMBER

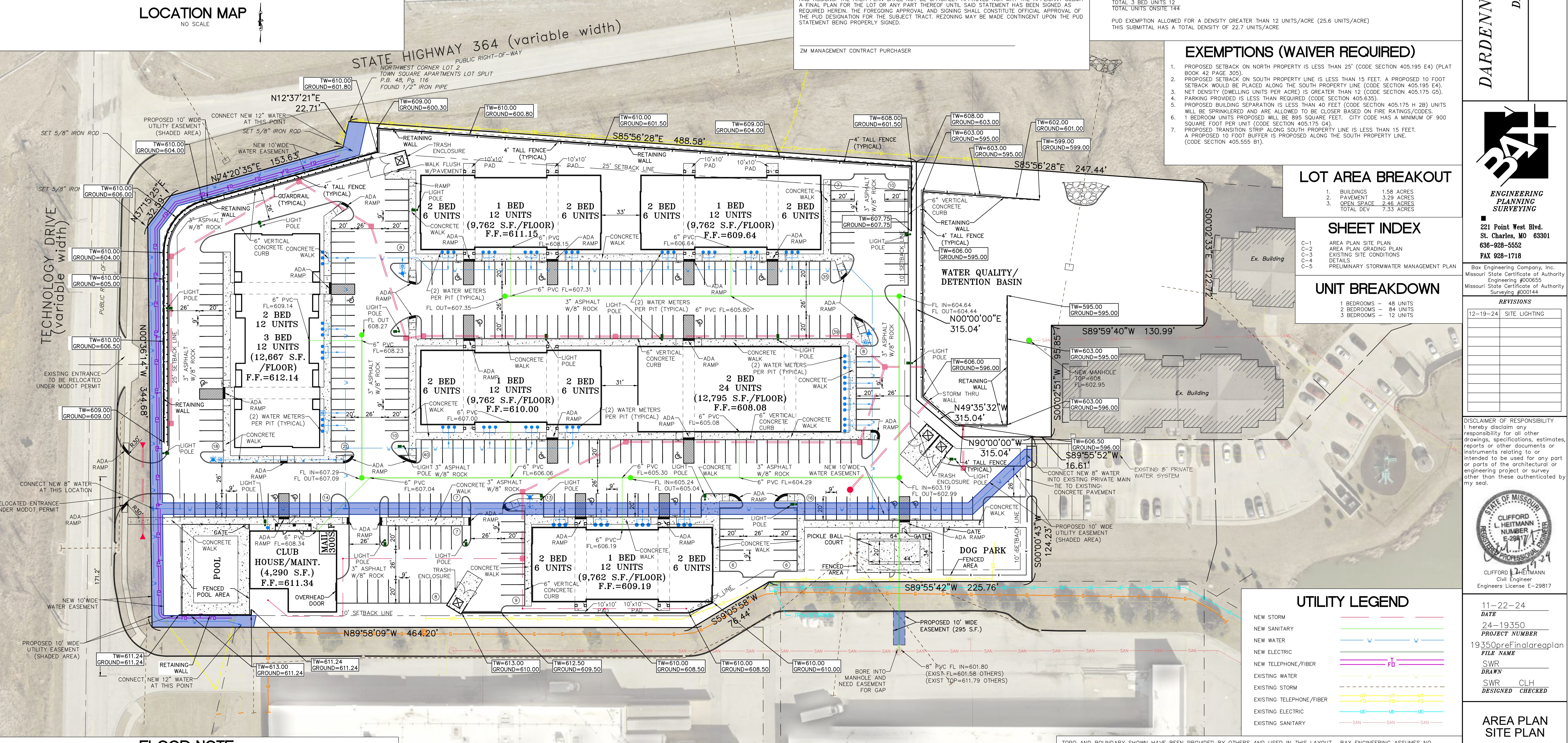
19350preFinalareaplan
FILE NAME

SWR
DRAWN

SWR CLH
DESIGNED CHECKED

AREA PLAN SITE PLAN

C-1



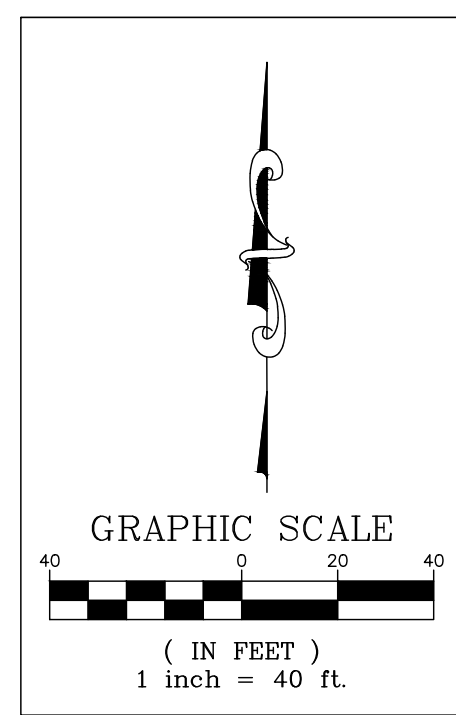
FLOOD NOTE
ACCORDING TO THE FLOOD INSURANCE RATE MAP OF ST. CHARLES, MISSOURI, DARDENNE PRAIRIE (COMMUNITY - PANEL NUMBER 290899 0220 G, DATED JANUARY 20, 2016), THIS TRACT LIES WITHIN ZONE X - ZONE X IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD. AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

TOPO AND BOUNDARY SHOWN HAVE BEEN PROVIDED BY OTHERS AND USED IN THIS LAYOUT. BOX ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR OMISSION OF FIELD DATA THAT MAY EXIST AT THIS SITE.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.

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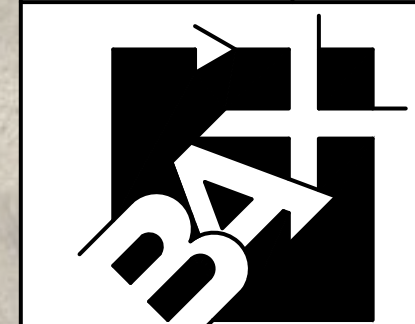


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 Surveying #001144

REVISIONS

NO.	DATE	DESCRIPTION
12-18-24		SITE LIGHTING

DISCLAIMER OF RESPONSIBILITY
 I hereby disclaim any
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 instruments relating to or
 intended to be used for any part
 or parts of the architectural or
 engineering project or survey
 other than those authenticated by
 my seal.

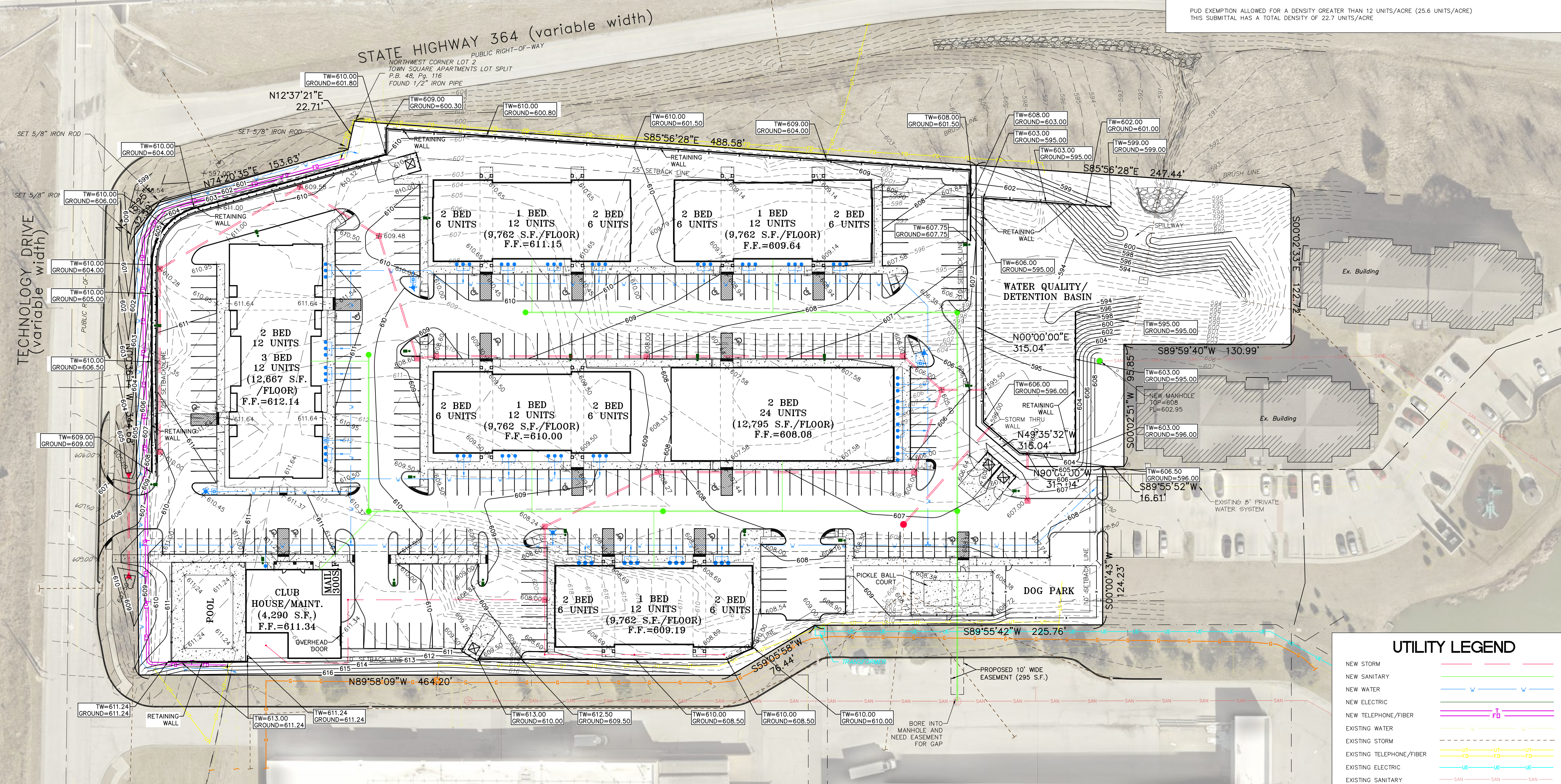


CLIFFORD L. HEITMANN
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 Engineers License E-29817

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 DESIGNED CHECKED

AREA PLAN GRADING PLAN

C-2



UTILITY LEGEND

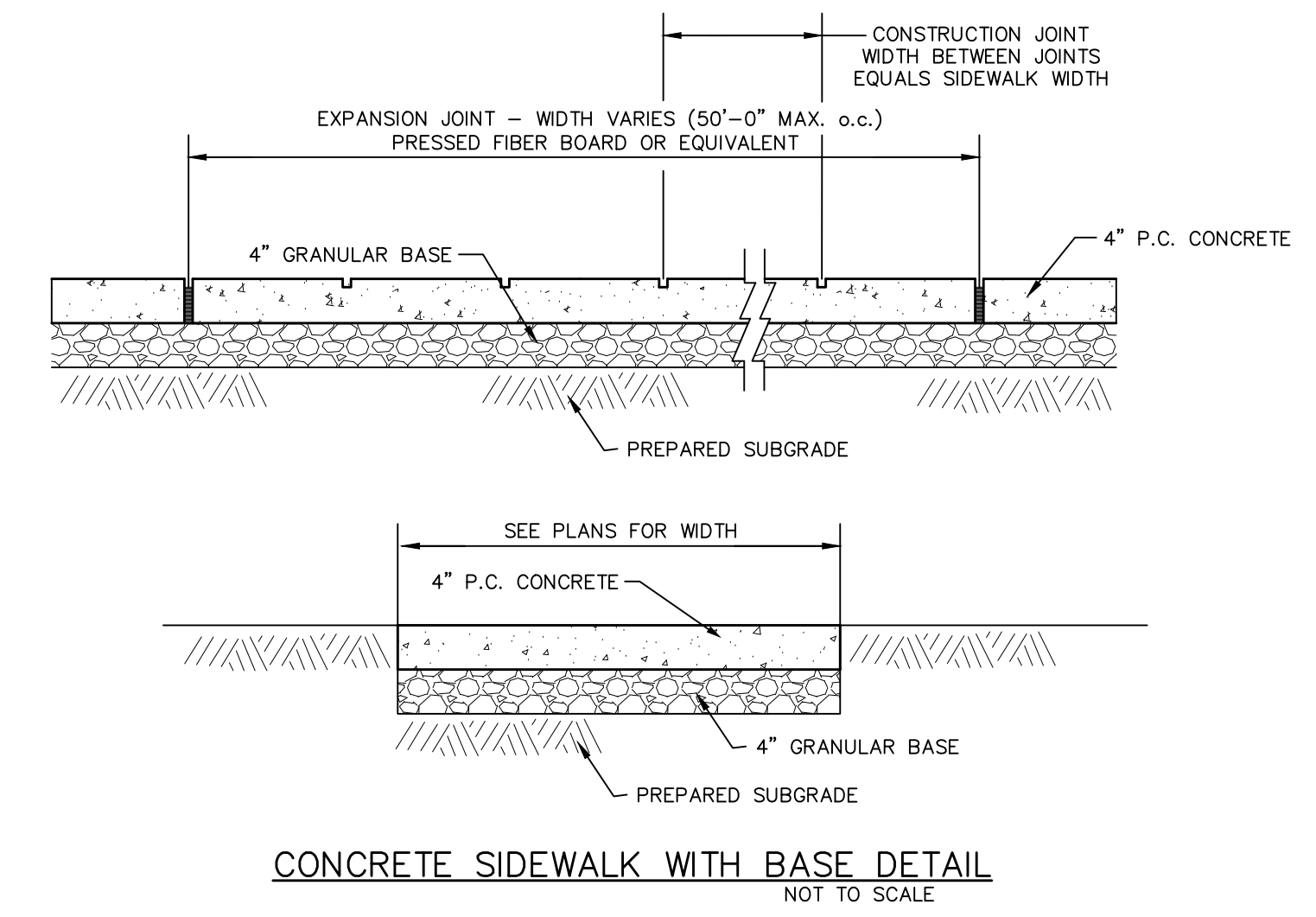
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NEW SANITARY	— (Green dashed line)
NEW WATER	— (Blue dashed line)
NEW ELECTRIC	— (Yellow dashed line)
NEW TELEPHONE/FIBER	— (Purple dashed line)
EXISTING WATER	— (Blue solid line)
EXISTING STORM	— (Red solid line)
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FLOOD NOTE

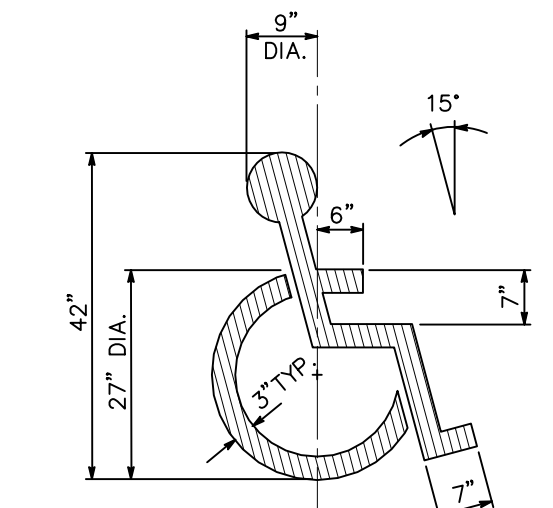
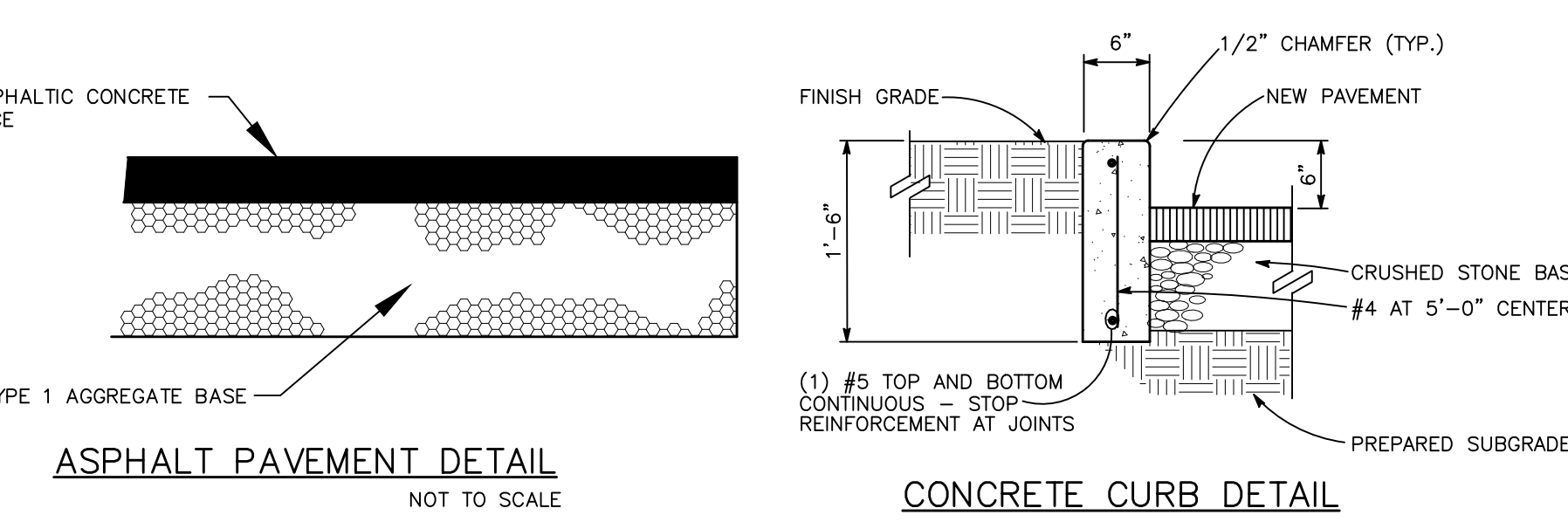
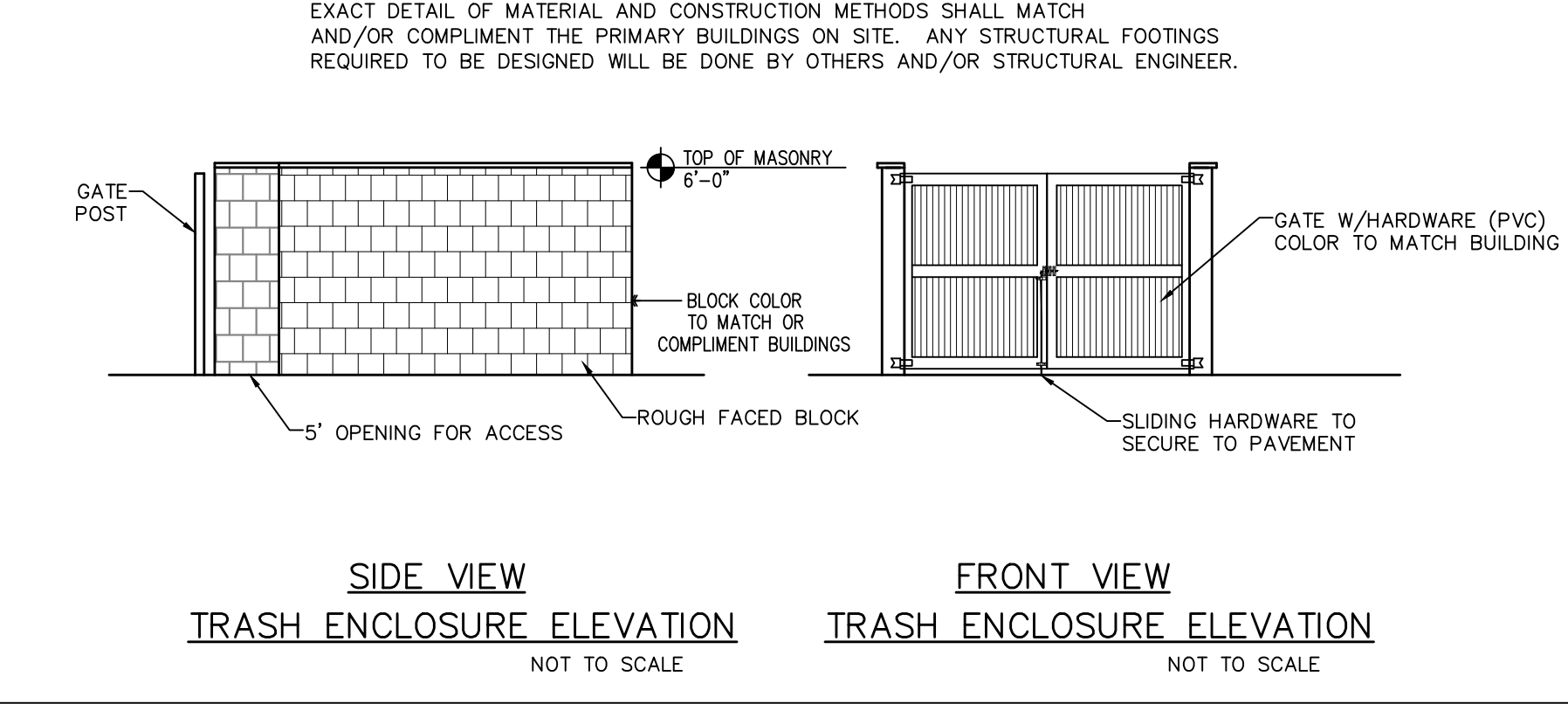
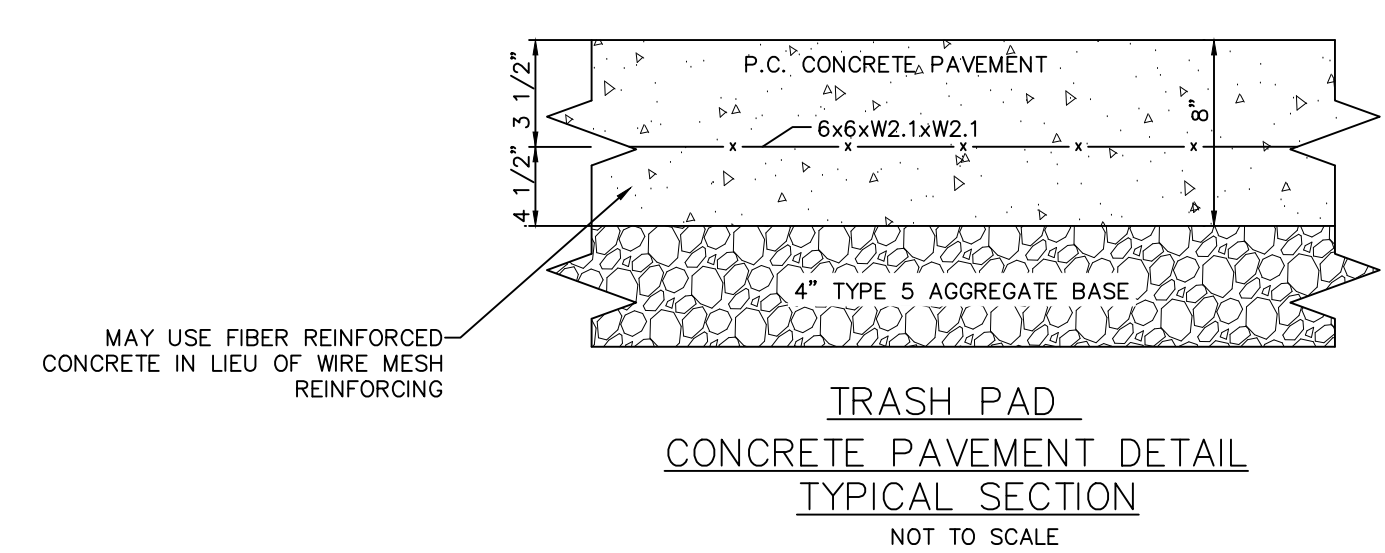
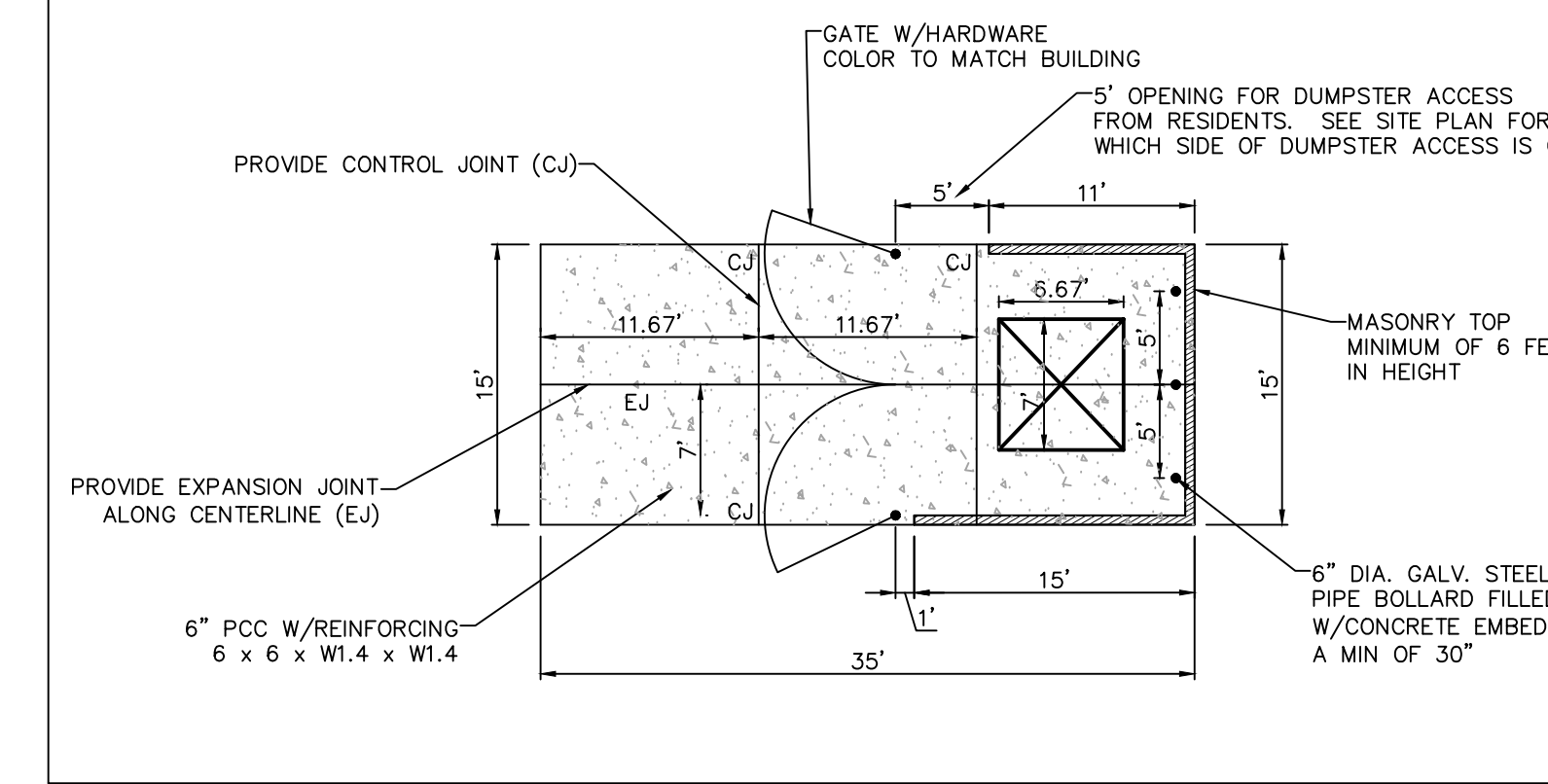
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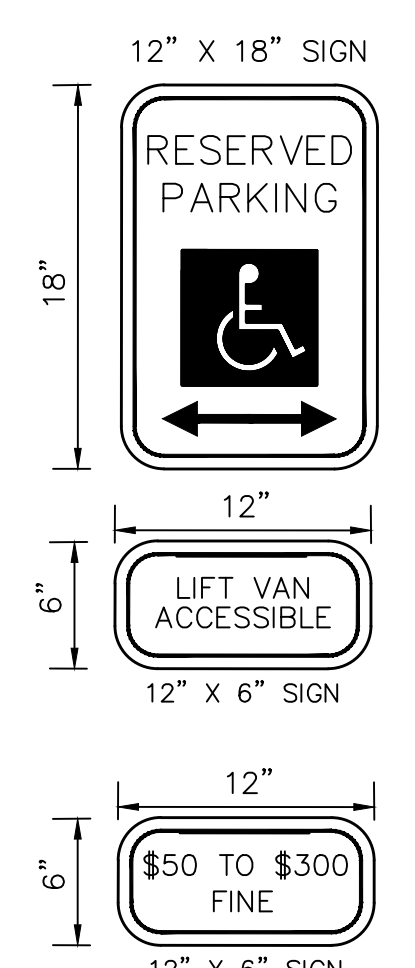
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CONCRETE SIDEWALK WITH BASE DETAIL
NOT TO SCALE



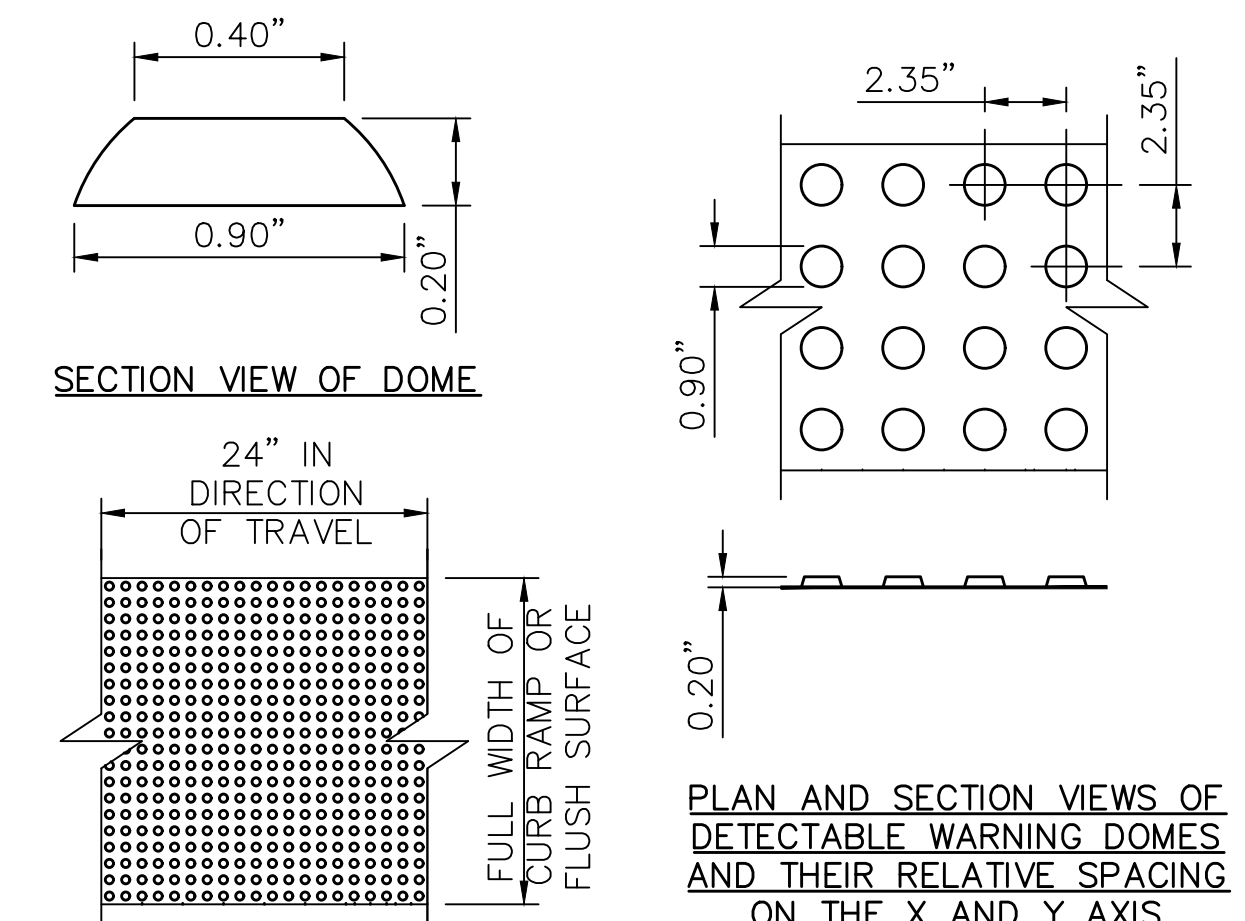
PAINTED HANDICAPPED PARKING SYMBOL
NOT TO SCALE



SIGN DESIGNATIONS ARE FROM THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

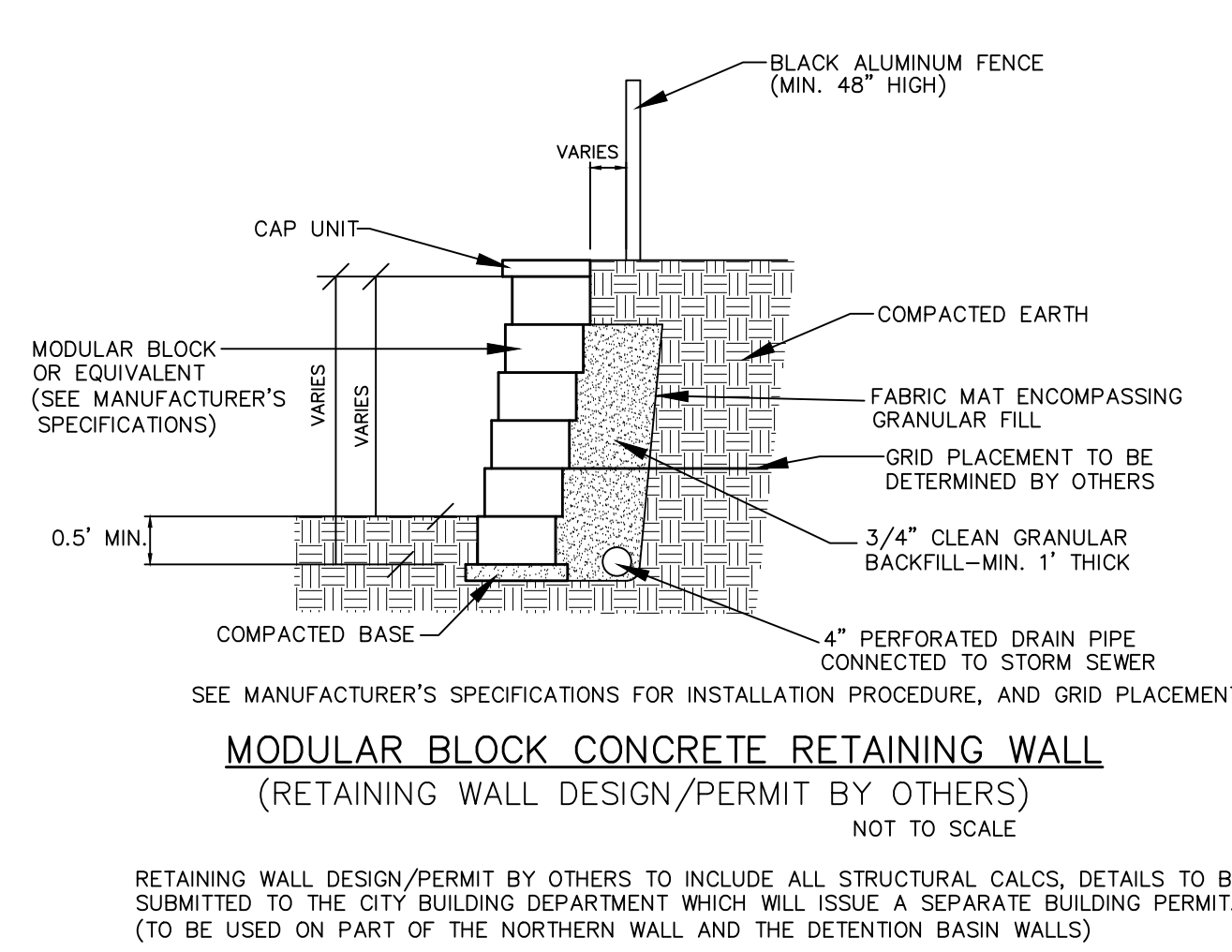
STANDARD SIGN FACE, STANDARD HIGHWAY DEPARTMENT, OR CITY STREET DEPARTMENT GAUGE, LETTERS AND BORDERS ARE GREEN, THE HANDICAP LOGO SQUARE IS BLUE AND THE BACKGROUND IS WHITE.

CONTRACTOR TO VERIFY ALL SIGNAGE WITH CITY PRIOR TO ORDERING ALL SIGNAGE.

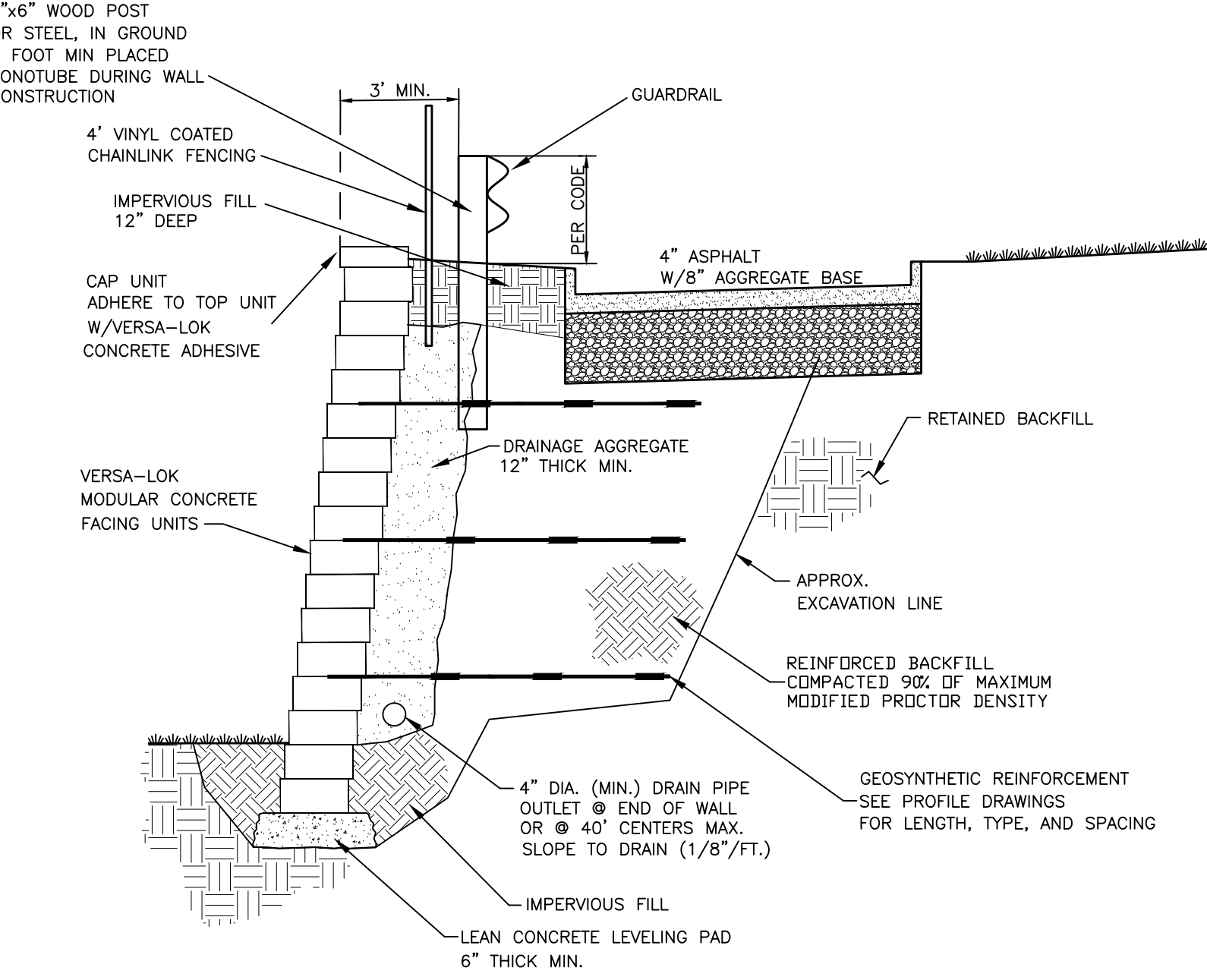


PLAN VIEW OF A DETECTABLE WARNING SURFACE SHOWING DOMES ALIGNED IN ROWS, NOT SKEWED DIAGONALLY.

TYPICAL DETAIL OF DETECTABLE WARNING SURFACE
NOT TO SCALE



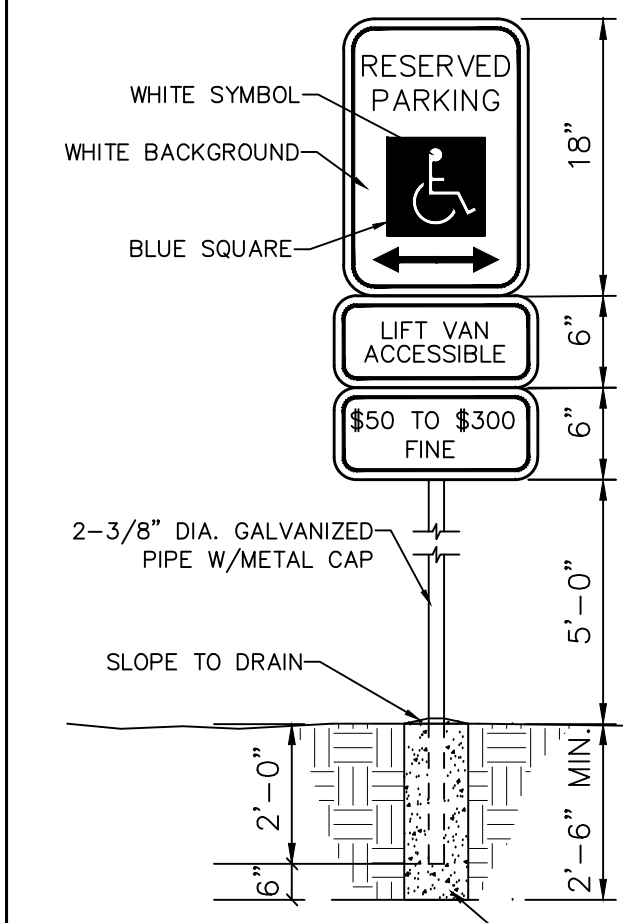
RETAINING WALL DESIGN/PERMIT BY OTHERS TO INCLUDE ALL STRUCTURAL CALCS, DETAILS TO BE SUBMITTED TO THE CITY BUILDING DEPARTMENT WHICH WILL ISSUE A SEPARATE BUILDING PERMIT. (TO BE USED ON PART OF THE NORTHERN WALL AND THE DETENTION BASIN WALLS)



RETAINING WALL DESIGN/PERMIT BY OTHERS TO INCLUDE ALL STRUCTURAL CALCS, DETAILS TO BE SUBMITTED TO THE CITY BUILDING DEPARTMENT WHICH WILL ISSUE A SEPARATE BUILDING PERMIT. (TO BE USED ON THE WESTERN AND PART OF THE NORTHERN WALL AT PARKING LOT)

TYPICAL SECTION-REINFORCED RETAINING WALL
MODULAR CONCRETE UNIT
NOT TO SCALE

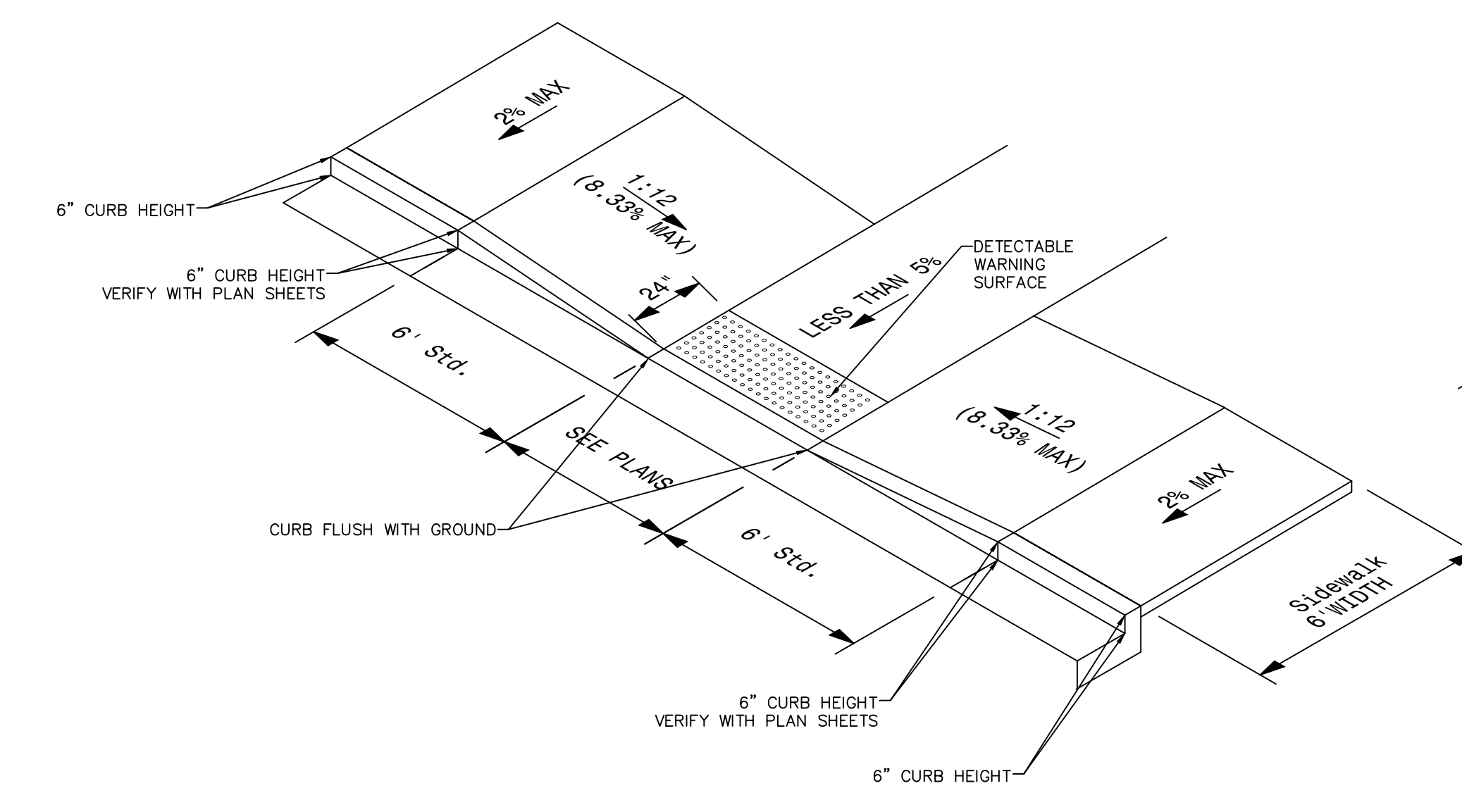
SIGN TO BE CENTERED ON THE SPACE
ACCESSIBLE PARKING SIGN
NOT TO SCALE



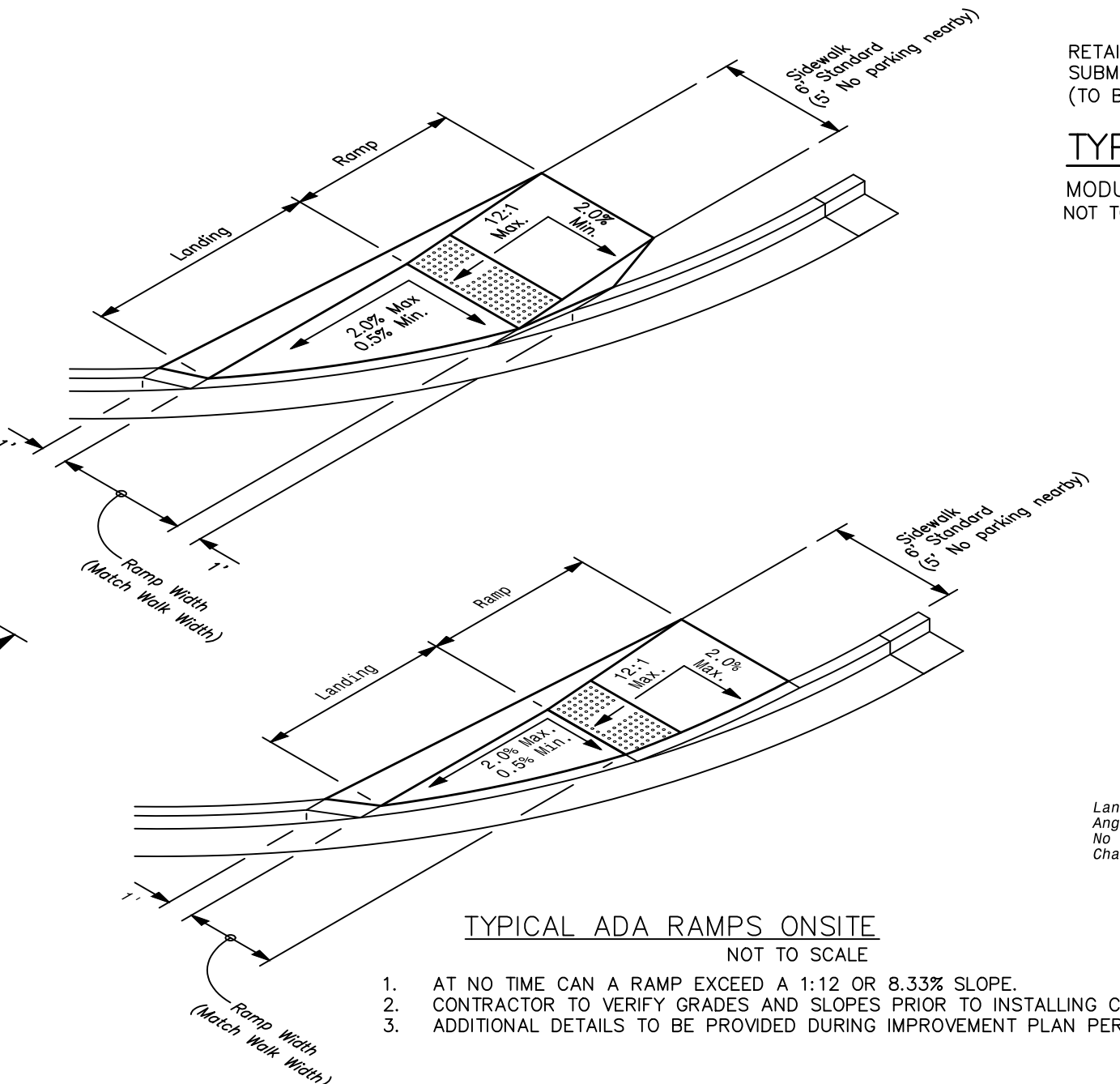
SIGN DESIGNATIONS ARE FROM THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

STANDARD SIGN FACE, STANDARD HIGHWAY DEPARTMENT, OR CITY STREET DEPARTMENT GAUGE, LETTERS AND BORDERS ARE GREEN, THE HANDICAP LOGO SQUARE IS BLUE AND THE BACKGROUND IS WHITE, GALVANIZED PIPE POST 9\"/>

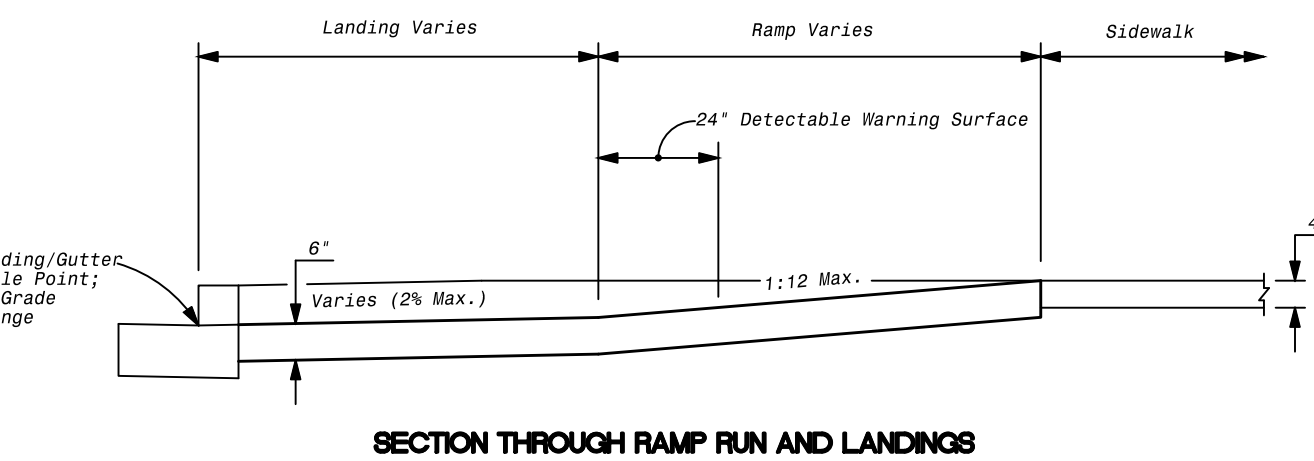
CONTRACTOR TO VERIFY ALL SIGNAGE WITH CITY PRIOR TO ORDERING ALL SIGNAGE.



TYPICAL ADA RAMP AT ENTRY TO APARTMENTS
NOT TO SCALE



TYPICAL ADA RAMPS ONSITE
NOT TO SCALE



SECTION THROUGH RAMP RUN AND LANDINGS

- AT NO TIME CAN A RAMP EXCEED A 1:12 OR 8.33% SLOPE.
- CONTRACTOR TO VERIFY GRADES AND SLOPES PRIOR TO INSTALLING CONCRETE
- ADDITIONAL DETAILS TO BE PROVIDED DURING IMPROVEMENT PLAN PERMIT REVIEW

AMENDED PUD FINAL PLAN
DARDENNE PRAIRIE APARTMENTS
TECHNOLOGY DRIVE
DARDENNE PRAIRIE, 63368

PREPARED FOR:
ZM MANAGEMENT CORPORATION
1105 CHESTNUT ST. MISSOURI
314-479-2887

ENGINEERING PLANNING SURVEYING

221 Point West Blvd.
St. Charles, MO 63301
636-928-5552
FAX 928-1718

Box Engineering Company, Inc.
Missouri State Certificate of Authority
Engineering #000655
Missouri State Certificate of Authority
Surveying #000144

NO.	REVISIONS

DISCLAIMER OF RESPONSIBILITY
I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey other than those authenticated by my seal.

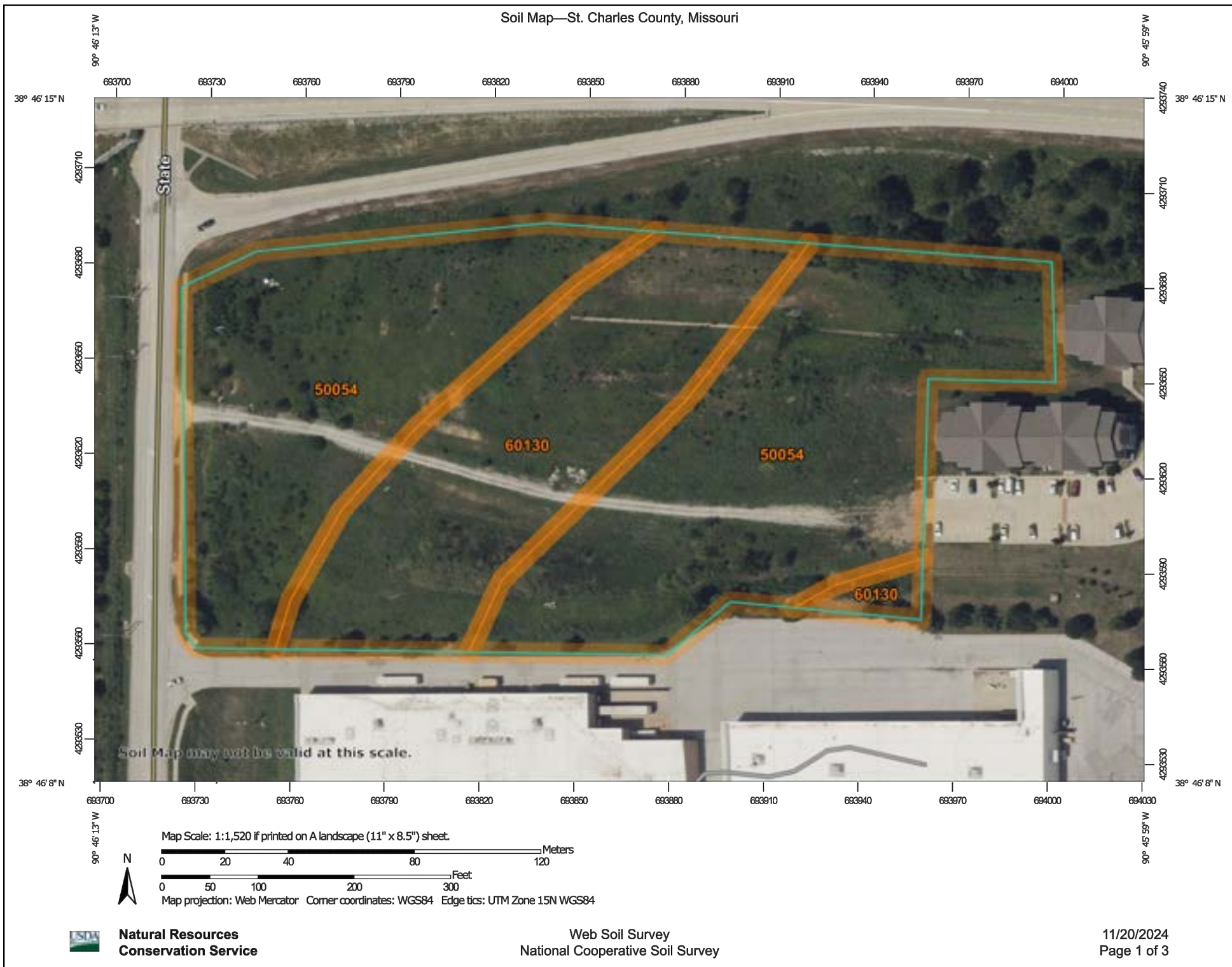
CLIFFORD L. HEITMANN
Civil Engineer
Engineers License E-29817

11-22-24
DATE
24-19350
PROJECT NUMBER
19350preFinalareaplan
FILE NAME
SWR
DRAWN
SWR CLH
DESIGNED CHECKED

DETAILS
C-4

AMENDED PUD FINAL PLAN
DARDENNE PRAIRIE APARTMENTS
 TECHNOLOGY DRIVE
 DARDENNE PRAIRIE, 63368

PREPARED FOR:
 ZM MANAGEMENT
 1105 S. WILSON BLVD.
 COLETSVILLE, MO 65017
 314-479-2887



MAP LEGEND

Area of Interest (AOI)

- Area of Interest (AOI)
- Soils
- Soil Map Unit Polygons
- Soil Map Unit Lines
- Soil Map Unit Points

Special Point Features

- Blowout
- Borrow Pit
- Clay Spot
- Closed Depression
- Gravel Pit
- Gravelly Spot
- Landfill
- Lava Flow
- Marsh or swamp
- Mine or Quarry
- Miscellaneous Water
- Perennial Water
- Rock Outcrop
- Saline Spot
- Sandy Spot
- Severely Eroded Spot
- Sinkhole
- Slide or Slip
- Sodic Spot

Water Features

- Streams and Canals

Transportation

- Rails
- Interstate Highways
- US Routes
- Major Roads
- Local Roads

Background

- Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

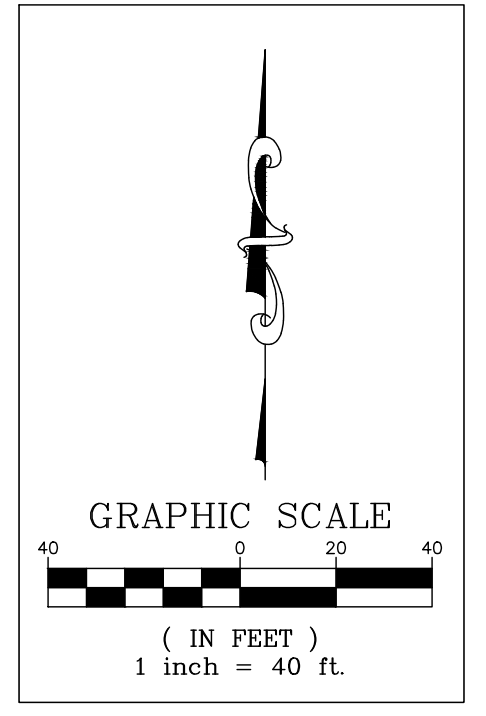
Soil Survey Area: St. Charles County, Missouri
 Survey Area Date: Version 26, Aug 27, 2024

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 22, 2022—Aug 25, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

PROPOSED	ACRES	PI FACTOR	Q (CFS)	EXISTING	ACRES	PI FACTOR	Q (CFS)
BUILDING ROOF	1.58	4.20	6.64				
PAVEMENT	3.25	3.54	11.51				
GRASS	2.50	1.70	4.25		7.33	1.70	12.46
TOTAL Q (CFS)			22.40				12.46
TOTAL AREA	7.33				7.33		
TOTAL IMPERVIOUS	4.83	CN=98			0	CN=98	
TOTAL PERVIOUS	2.50	CN=80			7.33	CN=80	
DIFFERENTIAL RUNOFF	92			9.94			



NOTE: LAND DISTURBED IS OVER 1.0 ACRES, THEREFORE WATER QUALITY IS REQUIRED FOR THE SITE. THE PROJECT DIFFERENTIAL IS OVER 2.0 CFS, THEREFORE DETENTION IS REQUIRED FOR THE SITE.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
50054	Armster silt loam, 2 to 7 percent slopes	5.4	69.9%
60130	Herrick silt loam, 2 to 5 percent slopes	2.3	30.1%
Totals for Area of Interest		7.7	100.0%

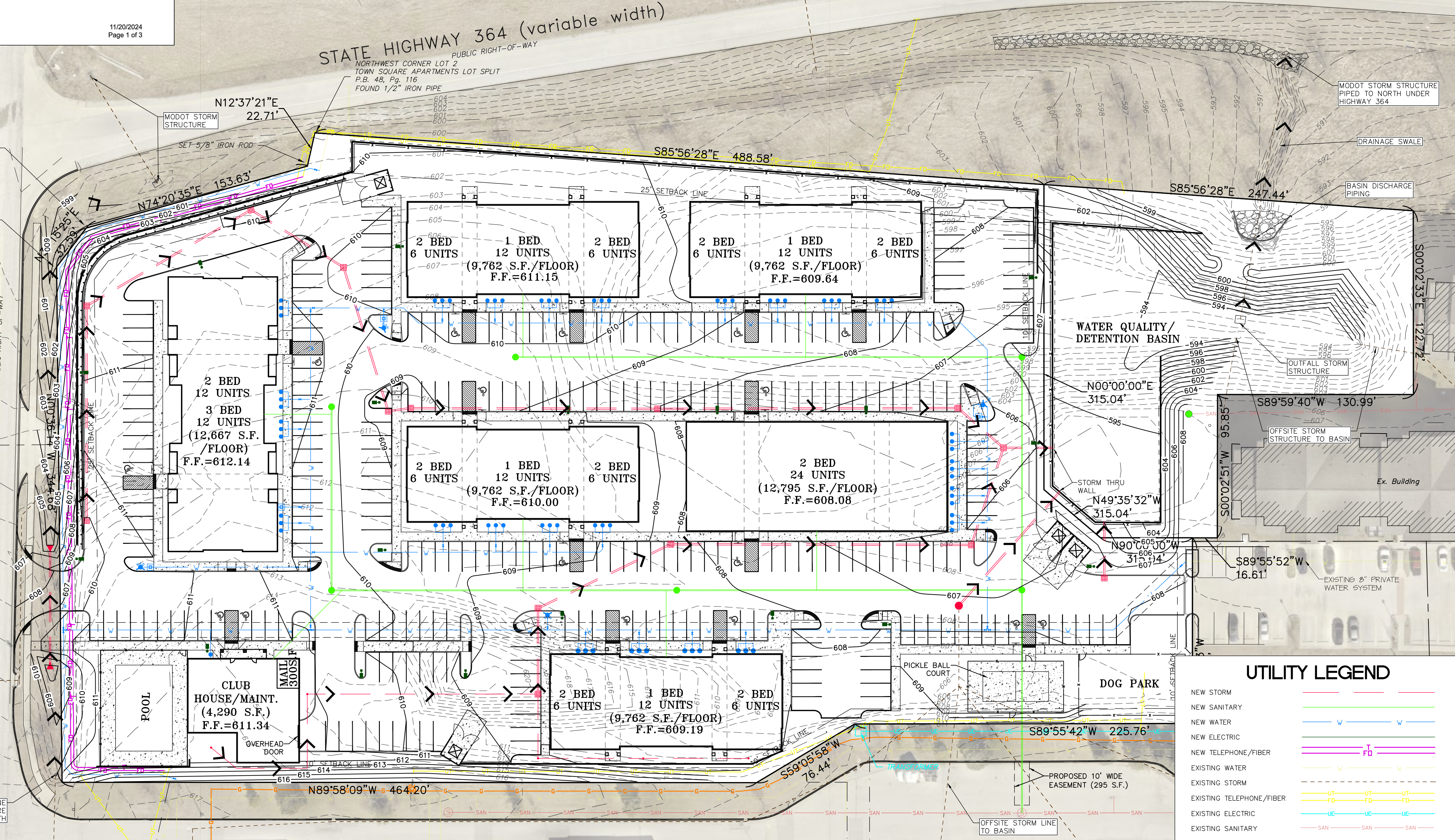
PRELIMINARY STORM WATER MANAGEMENT PLAN

EXISTING CONDITIONS:

- THE EXISTING SITE CONSISTS OF A DRY DETENTION BASIN WITH AN OUTFALL STRUCTURE. THE BASIN CURRENTLY SERVES THE PROPERTIES TO THE SOUTH AND EAST OF THE AREA OF LAND TO BE DEVELOPED.
- PROPERTY TO THE EAST CURRENTLY HAS A LAKE AND SEVERAL BIO BASIN AREAS AS WELL AS PERVIOUS PAVEMENT INSTALLED ON THEIR PROPERTY THAT PROVIDE WATER QUALITY WITHIN THEIR DEVELOPMENT. THE STORM WATER IS THEN PIPED INTO THE EXISTING DETENTION BASIN ON SITE.
- PROPERTIES TO THE SOUTH WERE BUILT PRIOR TO A WATER QUALITY REQUIREMENT AND ARE PIPED INTO THE EXISTING DETENTION BASIN.
- THERE APPEARS TO BE NO ADDITIONAL OFFSITE STORMWATER THAT FLOWS ONTO THIS SITE THAT WOULD BYPASS THE DETENTION BASIN.
- THE ACQUIRED EXCESS MODOT RIGHT-OF-WAY LAND (1.04 ACRES) APPEARS TO FLOW TOWARDS TECHNOLOGY DRIVE TOWARDS A DRAINAGE DITCH THAT FLOWS TO THE NORTH INTO A PIPED STORM SYSTEM FROM MODOT AND FLOWS TO THE NORTH SIDE OF HIGHWAY 364.
- THE EXISTING DISCHARGE POINT FROM THE DETENTION BASIN FLOWS OUT VIA A 42" RCP PIPE LOCATED AT THE FAR NORTH EAST PORTION OF THE BASIN INTO MODOT RIGHT-OF-WAY ALONG HIGHWAY 364 TO THE NORTH. FROM THERE IT IS PIPED UNDER 364 TO THE SAME LOCATION AS NOTED UNDER #5 ABOVE. ALL OF THE DISCHARGE FROM THIS SITE AND SURROUNDING PROPERTIES IS PART OF THE PERUQUE CREEK WATERSHED.

PROPOSED CONDITIONS:

- THE EXISTING BASIN WILL BE MODIFIED SUCH THAT IT CONTINUES TO PROVIDE DETENTION FOR THE PARCELS AND WILL INCLUDE WATER QUALITY MEASURES SUCH AS NATIVE PLANTINGS TO HELP WITH WATER QUALITY CONTROL.
- THE PROPERTY TO THE EAST WILL CONTINUE WITH THEIR WATER QUALITY MAINTENANCE OF THEIR LAKE AND BIO BASIN AREAS AS WELL AS THEIR PERVIOUS PAVED AREAS. NO CHANGES ARE PROPOSED WITH THAT PROPERTY.
- THE PROPERTIES TO THE SOUTH WOULD HAVE PIPING INSTALLED ON THIS DEVELOPMENT THAT WOULD BE PIPED TO THE NEW LOCATION OF THE WATER QUALITY DETENTION BASIN AND WOULD NOW BE TREATED WITH WATER QUALITY MEASURES IN THE NEW BASIN AREA.
- THE ACQUIRED EXCESS MODOT PARCEL WILL BE DEVELOPED AS PART OF THIS PLAN SET IN WHICH IT WILL BE DIRECTED TO THE NEW BASIN AREA AND TREATED WITH WATER QUALITY MEASURES.
- THE EXISTING BASIN OUTFALL STRUCTURE AND PIPING MAY NEED TO BE MODIFIED AS REQUIRED FOR THE NEW BASIN AND WATER QUALITY MEASURES THAT WILL BE REQUIRED BY CODE DURING THE IMPROVEMENT PLAN SET PERMIT. ALL RUNOFF DISCHARGE POINTS WILL NOT BE MODIFIED WITH THE DEVELOPMENT.



FLOOD NOTE

ACCORDING TO THE FLOOD INSURANCE RATE MAP OF ST. CHARLES, MISSOURI, DARDENNE PRAIRIE (COMMUNITY - PANEL NUMBER 290899 0220 G, DATED JANUARY 20, 2016), THIS TRACT LIES WITHIN ZONE X - ZONE X IS DEFINED AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

TOPO AND BOUNDARY SHOWN HAVE BEEN PROVIDED BY OTHERS AND USED IN THIS LAYOUT. BAX ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR OMISSION OF FIELD DATA THAT MAY EXIST AT THIS SITE.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.

ENGINEERING PLANNING SURVEYING

221 Point West Blvd.
 St. Charles, MO 63301
 636-928-5552
 FAX 928-1718

Box Engineering Company, Inc.
 Missouri State Certificate of Authority
 Engineering #000655
 Missouri State Certificate of Authority
 Surveying #000144

REVISIONS

NO.	DATE	DESCRIPTION
12-18-24		SITE LIGHTING

DISCLAIMER OF RESPONSIBILITY
 I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey other than those authenticated by my seal.

CLIFFORD L. HEITMANN
 Civil Engineer
 Engineers License E-29817

11-22-24	DATE
24-19350	PROJECT NUMBER
19350preFinalareaplan	FILE NAME
SWR	DRAWN
SWR CLH	DESIGNED CHECKED

STORMWATER MANAGEMENT PLAN

C-5

LANDSCAPE GUIDELINE SPECS:

GENERAL:

- All natural vegetation shall be maintained where it does not interfere with construction or the permanent plan of operation. Every effort possible shall be made to protect existing structures or vegetation from damage due to equipment usage. Contractor shall at all times protect all materials and work against injury to public.
- The landscape contractor shall be responsible for any coordination and sequencing with other site related work being performed by other contractors. Refer to additional drawings for further coordination of work to be done.
- Underground facilities, structures and utilities must be considered approximate only. There may be others not presently known or shown. It shall be the landscape contractor's responsibility to determine or verify the existence of and exact location of the above (Call utility location services in municipality).
- Plant material are to be planted in the same relationship to grade as was grown in nursery conditions. All planting beds shall be cultivated to 6" depth minimum and graded smooth immediately before planting of plants. Plant groundcover to within 12" of trunk of trees or shrubs planted within the area.
- It shall be the landscape contractor's responsibility to:
 - Verify all existing and proposed features shown on the drawings prior to commencement of work.
 - Report all discrepancies found with regard to existing conditions or proposed design to the landscape architect immediately for a decision.
 - Stake the locations of all proposed plant material and obtain the approval of the owner's representative or landscape architect ten (10) days prior to installation.
- Items shown on this drawing take precedence over the material list. It shall be the landscape contractor's responsibility to verify all quantities and conditions prior to implementation of this plan. No substitutions of types or size of plant materials will be accepted without written approval from the landscape architect.
- Provide single-stem trees unless otherwise noted in plant schedule.
- All plant material shall comply with the recommendations and requirements of ANSI Z60.1 "American Standards for Nursery Stock".
- It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect (or Owners' Representative) prior to acceptance. Inspections may take place before, during or after installation. Plants not conforming exactly to the plant list will not be accepted and shall be replaced at the landscape contractor's expense.
- All bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract; quotes shall be valid for 12 months.
- Should auger equipment be utilized in excavating any plant pits, vertical sides of plant pits shall be thoroughly scarified to avoid creation of "polished side walls" prior to plant material installation.
- All excess topsoil, rocks, debris and/or tainted soils shall be removed by the general contractor prior to point project is turned over to the landscape contractor to commence landscape installation.
- Keep all plant material (except turf) a minimum of 36" clear of fire hydrants.
- Landscape contractor shall kill & remove all existing weeds within the project site.
- All tags, nursery stakes, labels, etc. shall be removed by the landscape contractor at completion of all landscape installation.
- Landscape contractor shall be in compliance with all federal, state and local laws / regulations relating to insect infestation and/or plant diseases.
- All substitutions of plant material shall be submitted to landscape architect for approval.

PRUNING:

- Lightly prune trees at time of planting. Prune only the crossover limbs, intermingled leaders and/or any broken branches. Some interior twigs and lateral branches may be pruned. However, do not remove the terminal buds of branches that extend to the edge of the crown.
- All pruning shall comply with ANSI A300 standards.

INSURANCE:

- The landscape contractor shall submit certificates of insurance for workman's compensation and general liability.

MULCH:

- All mulch to be shredded oak bark mulch at 3" depth (after compaction) unless otherwise noted. Mulch shall be clean and free of all foreign materials, including weeds, mold, deleterious materials, etc.
- No plastic sheeting or filter fabric shall be placed beneath shredded bark mulch beds. Mirafi fabric shall be used beneath all gravel mulch beds. Lap fabric 6" over adjacent coverages.
- Edge all beds with spade-cut edge unless otherwise noted.

TOPSOIL:

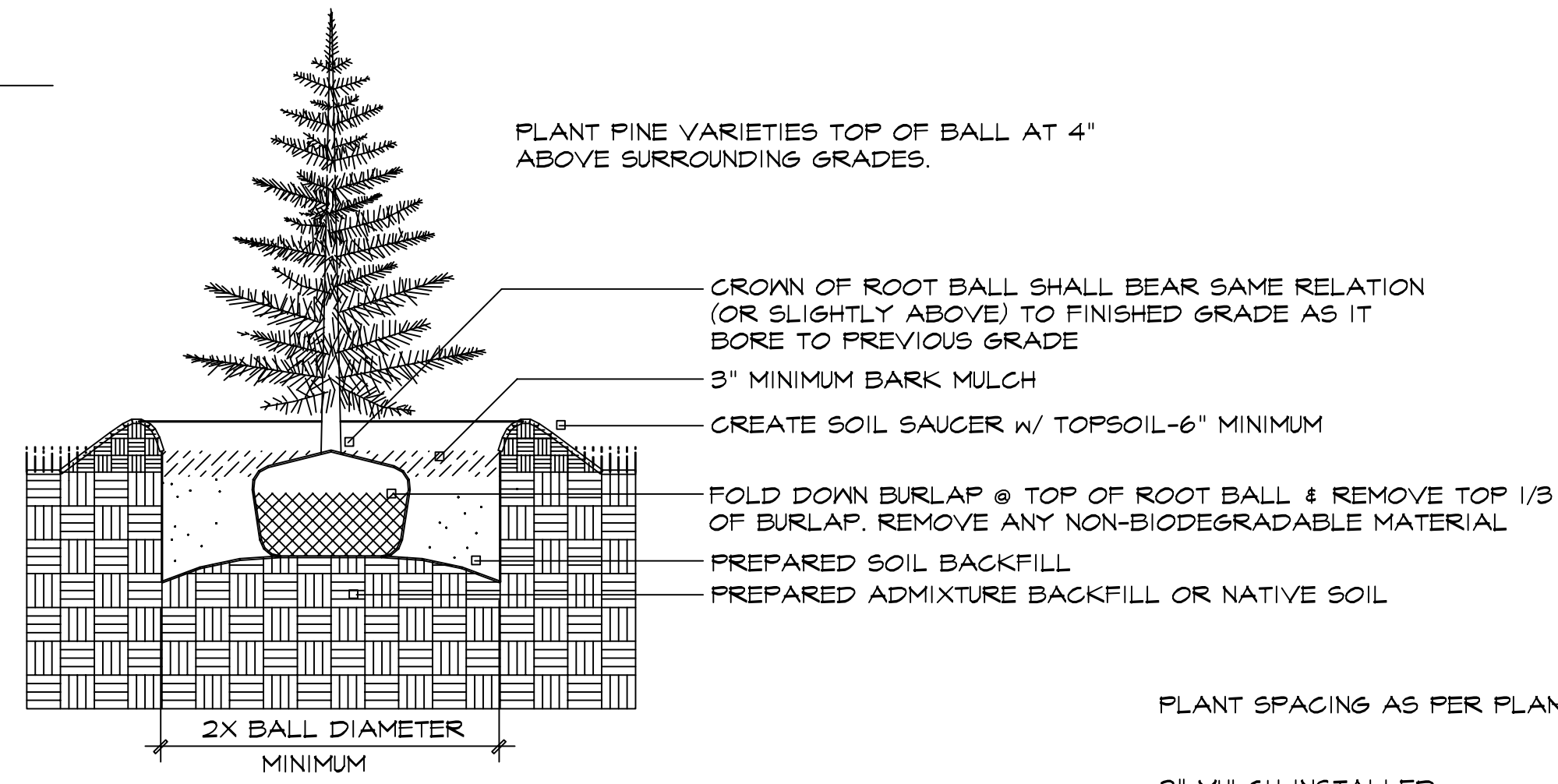
- Topsoil mix for all proposed landscape plantings shall be five (5) parts well-drained screened organic topsoil to one (1) part Canadian sphagnum peat moss as per planting details. Roto-till topsoil mix to a depth of 6" minimum and grade smooth.
- Provide a soil analysis, as requested, made by an independent soil-testing agency outlining the % of organic matter, inorganic matter, deleterious material, pH and mineral content.
- Any foreign topsoil used shall be free of roots, stumps, weeds, brush, stones (larger than 1"), litter or any other extraneous or toxic material. Landscape contractor shall be fully responsible for correcting all negative soil issues prior to plant installation. Killing and removal of all weeds shall be the responsibility of the landscape contractor as part of this task.
- Landscape contractor to apply pre-emergent herbicide to all planting beds upon completion of planting operations and before application of shredded bark mulch.
- Install siltation controls prior to commencement of any grading operations. Inspect and maintain all siltation fences on a weekly basis until vegetation is established.

TURF:

- All disturbed lawn areas to be seeded with a mixture of Turf-Type fescue (300# per acre) and bluegrass (18# per acre). Lawn areas shall be unconditionally warranted for a period of 90 days from date of final acceptance. Bare areas more than one square foot per any 50 square feet shall be replaced.
- Seed and fertilization operations shall occur between May 1 and June 15th or between September 1 and October 15th unless directed by others in writing AND irrigation system is operating. Granular or pelleted fertilizer consisting of 50% water-insoluble slow release nitrogen, phosphorous and potassium in a 12-12-12 composition.
- The turf contractor shall be responsible for protection of finished grade; restore and repair any erosion or water damage and obtain owners' approval prior to seeding or sod installation.
- Landscape contractor shall offer an alternate price for sod in lieu of seed. Sod shall be cut at a uniform thickness of 3/4". No broken pieces, irregular pieces or torn pieces will be accepted.
- Any points carrying concentrated water loads and all slopes of 15% or greater shall be sodded.
- All sod shall be placed a maximum of 24 hours after harvesting.
- Recondition existing lawn areas damaged by Contractor's operations including equipment/material storage and movement of vehicles.
- Sod Contractor to ensure sod is placed below sidewalk and all paved area elevations to allow for proper drainage.

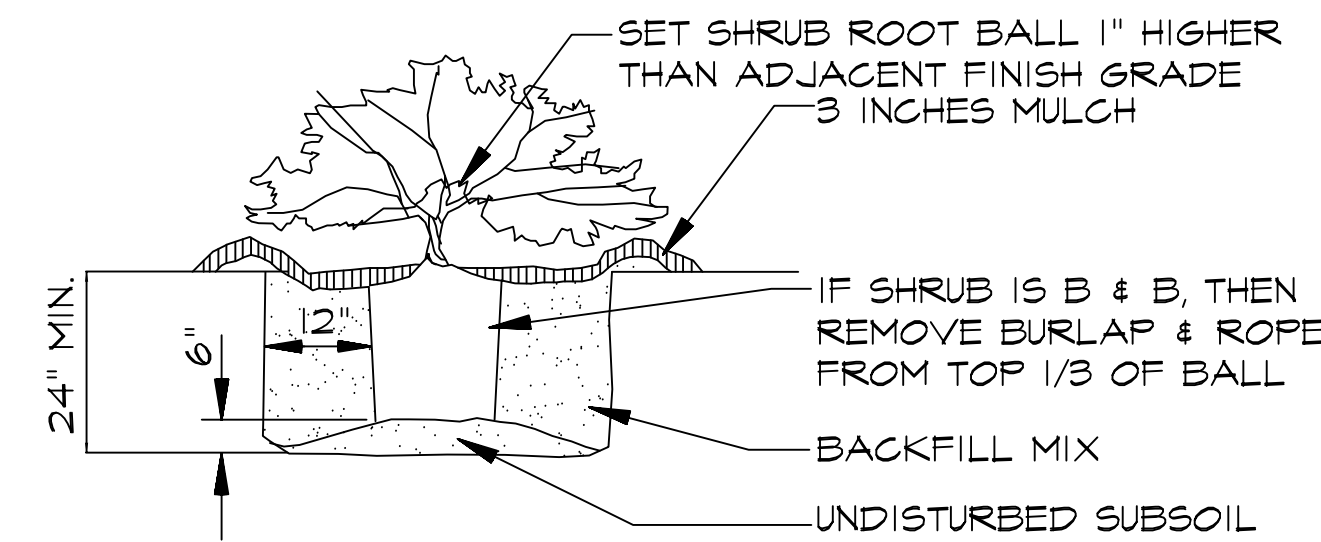
WARRANTY:

- All plant material (excluding ground cover, perennials and annuals) are to be warranted for a period of 12 months after complete installation of all landscape material at 100% of the installed price.
- Any plant material found to be defective shall be removed and replaced within 30 days of notification or in growth season determined to be best for that plant.
- Only one replacement per tree or shrub shall be required at the end of the warranty period, unless loss is due to failure to comply with the warranty.
- Lawn establishment period will be in effect once the lawn has been mowed three times. Plant establishment period shall commence on the date of acceptance and 100% completion.
- A written guarantee shall be provided to the owner per conditions outlined in #1 above.



EVERGREEN TREE PLANTING

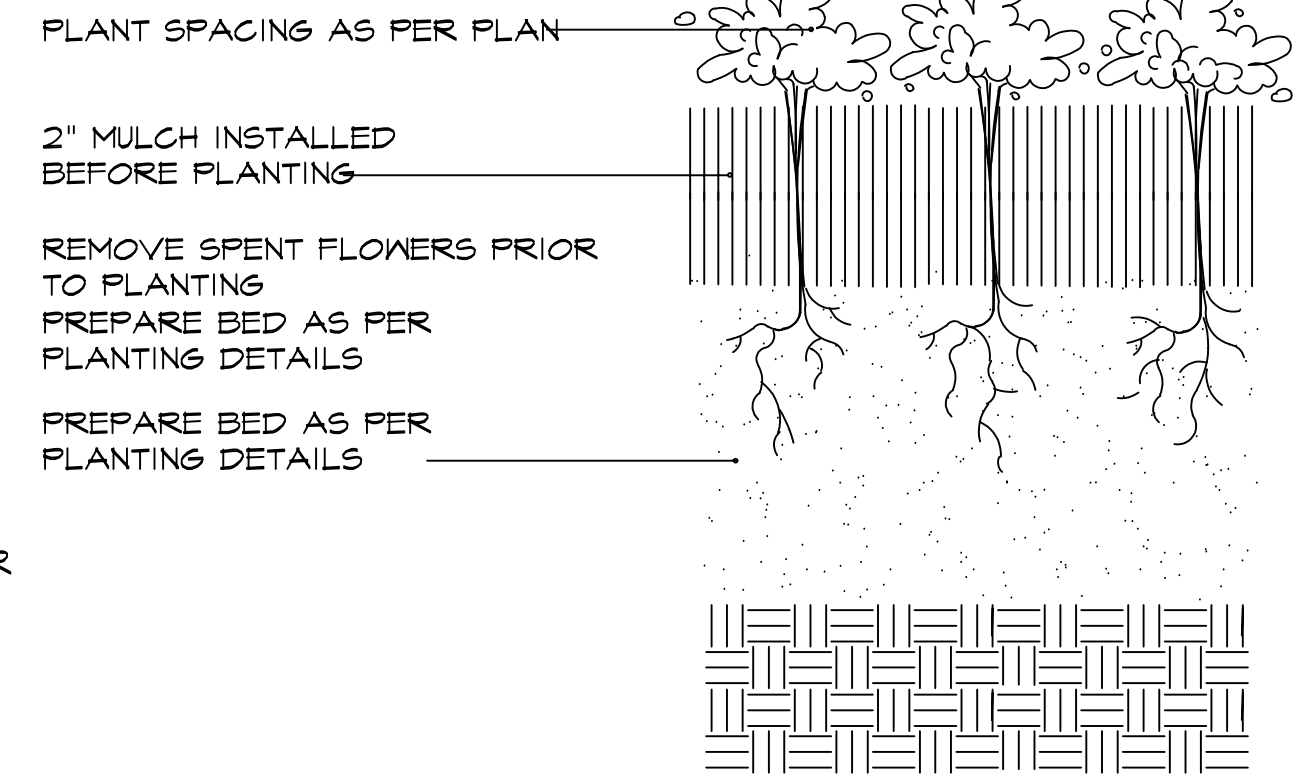
N.T.S.



PRUNE ANY BROKEN BRANCHES AFTER PLANTING. DAMAGED SHRUBS OR BROKEN / CRUMBLING ROOT BALLS WILL BE REJECTED.

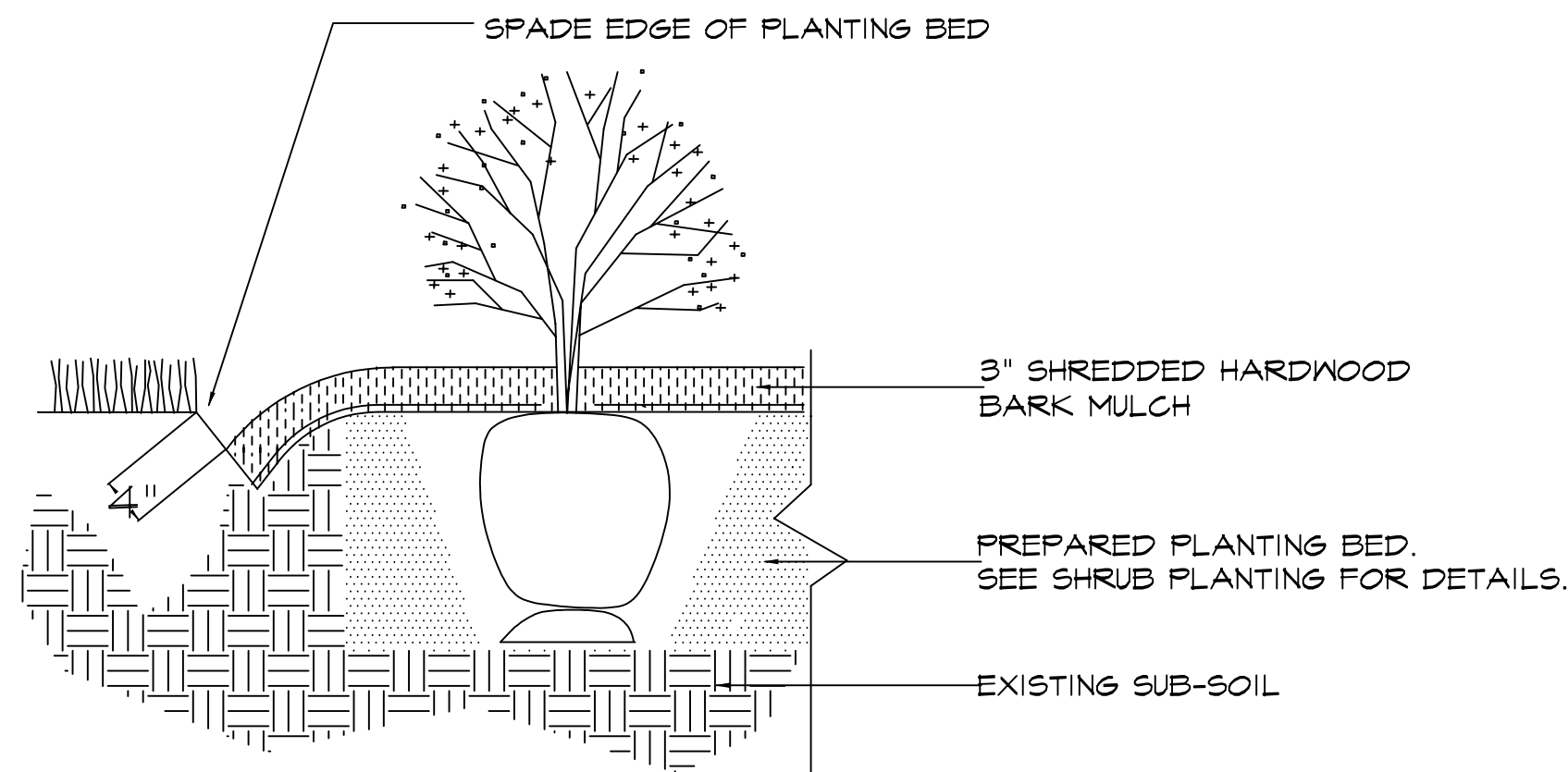
SHRUB PLANTING

N.T.S.



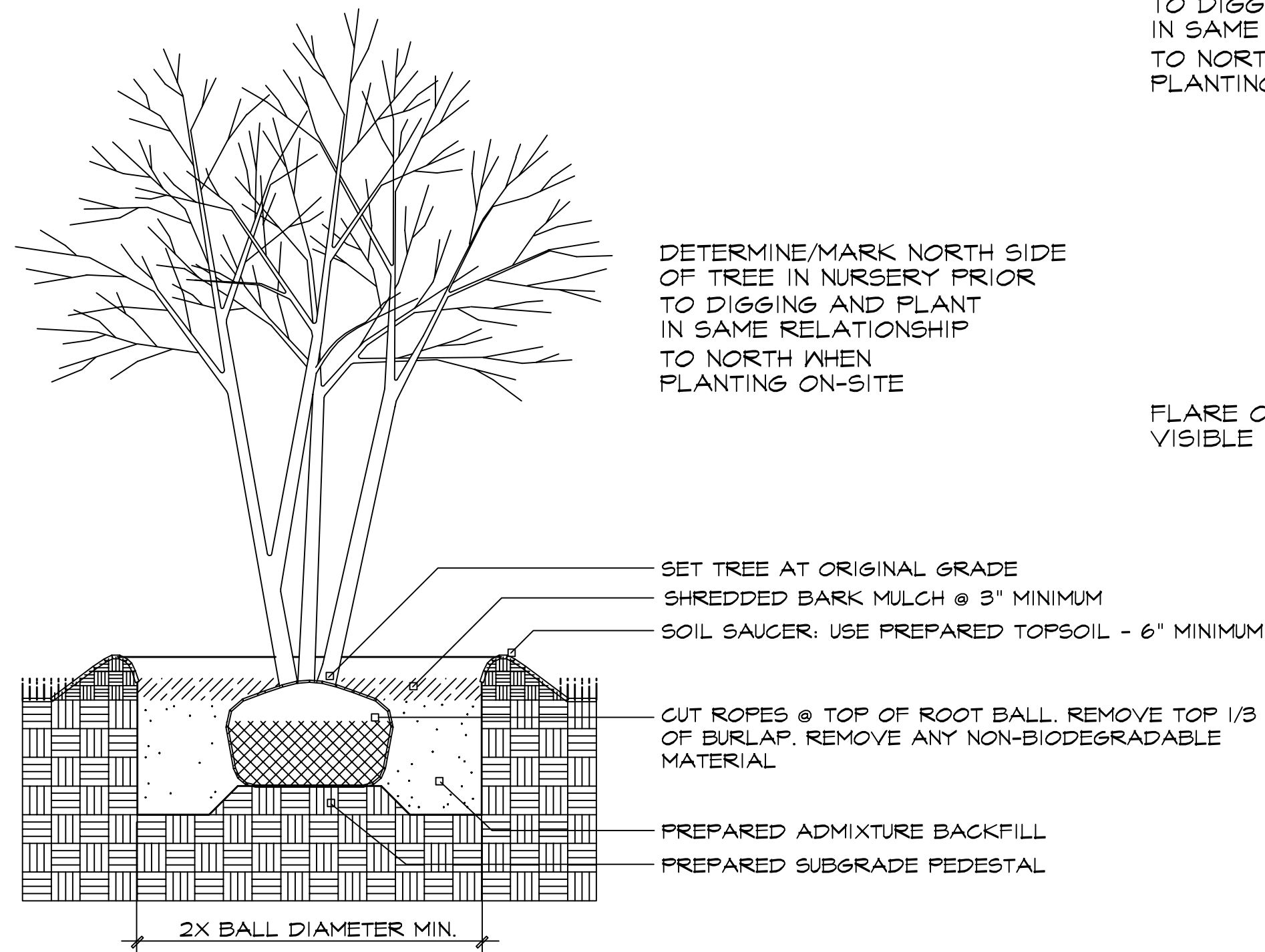
PERENNIAL PLANTING

N.T.S.



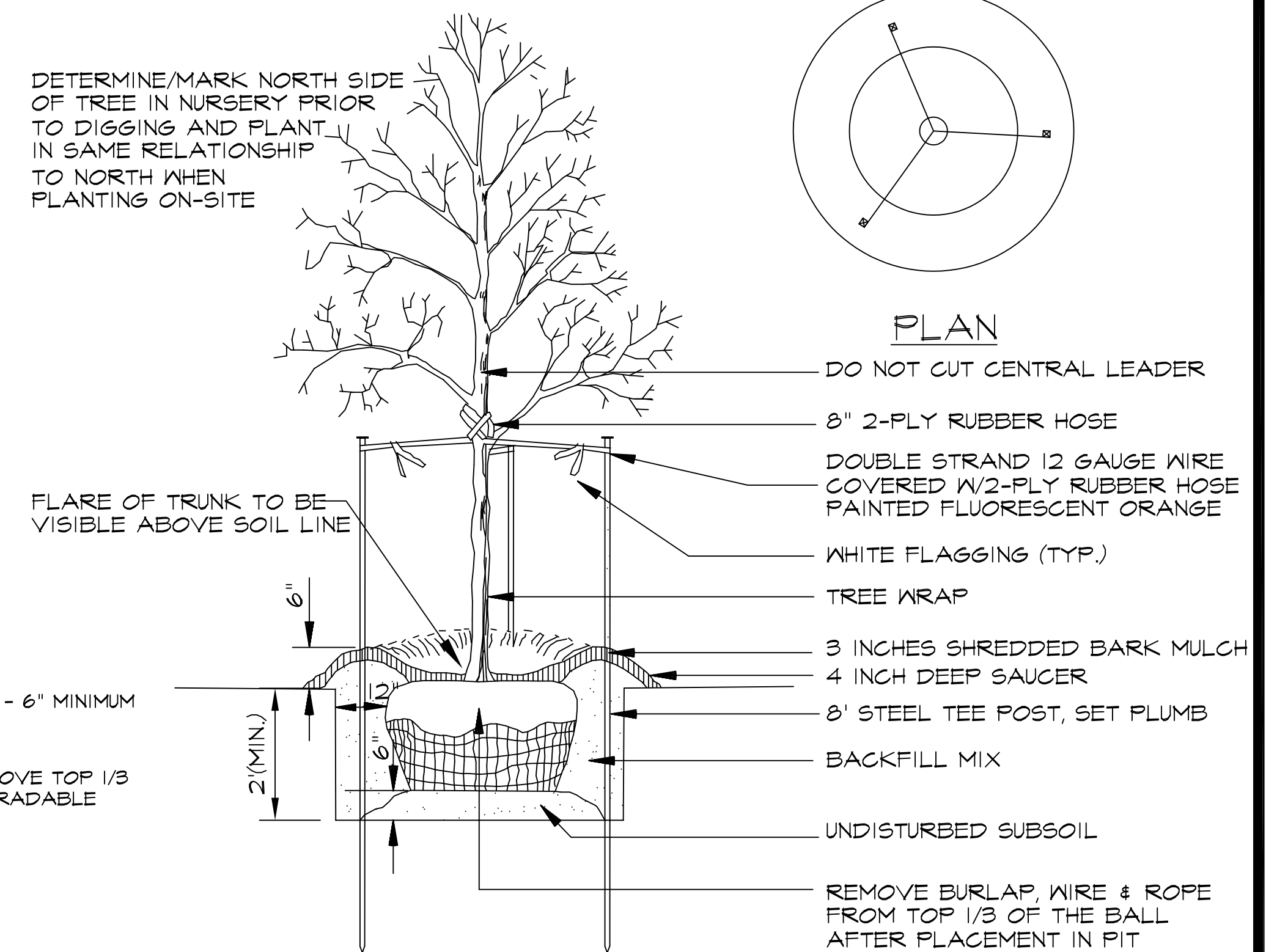
SPADE-CUT EDGE DETAIL

N.T.S.



MULTI-STEM TREE PLANTING

N.T.S.



DECIDUOUS TREE PLANTING

N.T.S.

REVISIONS	BY

landscape
TECHNOLOGIES

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
STATE OF MISSOURI

MARDIS R. MARDIS
LANDSCAPE ARCHITECT #000014
DATE: DECEMBER 18, 2024

67 Jacobs Creek Drive
St. Charles, Missouri 63304
(636) 428-1250
Fax: (636) 428-4465

PLANTING DETAILS & GUIDELINE SPECS FOR THE PROPOSED

Dardenne Prairie Apts.

DARDENNE PRAIRIE, MISSOURI

DRAWN	R. MARDIS
CHECKED	RAMMEL
DATE	12/18/2024
SCALE	N.A.
JOB No.	2023-128
SHEET	

PLANT SCHEDULE - STREET TREES

CODE	QTY	COMMON / BOTANICAL NAME	SIZE
TREES			
HACK	1	COMMON HACKBERRY / CELTIS OCCIDENTALIS	2.5" CAL.
GL	5	GREENSPIRE LITTLELEAF LINDEN / TILIA CORDATA 'GREENSPIRE'	2.5" CAL.
HM	4	HEDGE MAPLE / ACER CAMPESTRE	2.5" CAL.
BLPT	2	LONDON PLANE TREE / PLATANUS X ACERIFOLIA 'BLOODGOOD'	2.5" CAL.
SAW	6	SAWTOOTH OAK / QUERCUS ACUTISSIMA	2.5" CAL.
OGRM	3	'OCTOBER GLORY' MAPLE / ACER RUBRUM 'OCTOBER GLORY'	2.5" CAL.
EVERGREEN TREES			
NS	2	NORWAY SPRUCE / PICEA ABIES	6'-7'
FLOWERING TREES			
MRB	2	MERLOT REDBUD / CERCIS X 'MERLOT'	2" CAL.

7,300 CREDIT POINTS

PLANT SCHEDULE - COMMON GROUND

CODE	QTY	COMMON / BOTANICAL NAME	SIZE
TREES			
HACK	4	COMMON HACKBERRY / CELTIS OCCIDENTALIS	2.5" CAL.
HM	4	HEDGE MAPLE / ACER CAMPESTRE	2.5" CAL.
EVERGREEN TREES			
BBS	2	BAKERI BLUE SPRUCE / PICEA PUNGENS 'BAKERII'	6'-7'
GGA	7	GREEN GIANT ARBORVITAE / THUJA PLICATA 'GREEN GIANT'	6'-7'
NS	3	NORWAY SPRUCE / PICEA ABIES	6'-7'
FLOWERING TREES			
MRB	1	MERLOT REDBUD / CERCIS X 'MERLOT'	2" CAL.

5,500 CREDIT POINTS

PLANT SCHEDULE - LOT 2

CODE	QTY	COMMON / BOTANICAL NAME	SIZE
TREES			
GMSM	4	GREEN MOUNTAIN SUGAR MAPLE / ACER SACCHARUM 'GREEN MOUNTAIN'	2.5" CAL.
GL	3	GREENSPIRE LITTLELEAF LINDEN / TILIA CORDATA 'GREENSPIRE'	2.5" CAL.
BLPT	1	LONDON PLANE TREE / PLATANUS X ACERIFOLIA 'BLOODGOOD'	2.5" CAL.
OO	2	OVERCUP OAK / QUERCUS LYRATA	2.5" CAL.
PP	1	PERSIAN PARROTIA / PARROTIA PERSICA	2.5" CAL.
SAW	2	SAWTOOTH OAK / QUERCUS ACUTISSIMA	2.5" CAL.
WO	4	WILLOW OAK / QUERCUS PHELLOS	2.5" CAL.
OGRM	4	'OCTOBER GLORY' MAPLE / ACER RUBRUM 'OCTOBER GLORY'	2.5" CAL.
EVERGREEN TREES			
BBS	3	BAKERI BLUE SPRUCE / PICEA PUNGENS 'BAKERII'	6'-7'
GGA	7	GREEN GIANT ARBORVITAE / THUJA PLICATA 'GREEN GIANT'	6'-7'
FLOWERING TREES			
JTL	5	IVORY SILK JAPANESE TREE LILAC / SYRINGA RETICULATA 'IVORY SILK'	2" CAL.
MRB	3	MERLOT REDBUD / CERCIS X 'MERLOT'	2" CAL.
PPFD	3	PRAIRIE PINK FLOWERING DOGWOOD / CORNUS FLORIDA 'PRAIRIE PINK'	2" CAL.
RRFC	8	ROYAL RAINDROPS FLOWERING CRAB / MALUS X 'ROYAL RAINDROPS'	2" CAL.
SERV	3	'AUTUMN BRILLIANCE' SERVICEBERRY / AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	2" CAL.
SHRUBS			
ALV	37	ALLEGHANY LEATHERLEAF VIBURNUM / VIBURNUM RHYTIDOPHYLLUM 'ALLEGHANY'	24"-30"
EY	10	EVERLOW YEW / TAXUS X MEDIA 'EVERLOW'	5 GAL.
SSH	3	STRAWBERRY SUNDAE HYDRANGEA / HYDRANGEA PANICULATA 'STRAWBERRY SUNDAE'	5 GAL.

15,400 CREDIT POINTS

REVISIONS	BY

Landscape
TECHNOLOGIES

67 Jacobs Creek Drive
St. Charles, Missouri 63304
Phone: (636) 422-4455
Fax: (636) 422-4455

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
STATE OF MISSOURI
MARDIS R. MARDIS
LICENSE NUMBER 019
DATE: DECEMBER 18, 2024

PLANT SCHEDULES FOR THE PROPOSED
Dardenne Prairie Apts.
DARDENNE PRAIRIE, MISSOURI

DRAWN	R. MARDIS
CHECKED	RAMMEL
DATE	12/19/2024
SCALE	N.A.
JOB No.	2023-128
SHEET	
L-3	
OF THREE SHEETS	



BLACK ALUMINUM RAILING

ARCHITECTURAL SHINGLES

HARDIE SIDING AND HARDIE TRIM

BRICK

APARTMENT FRONT ELEVATION



HARDIE LAP SIDING
AND TRIM

ARCHITECTURAL SHINGLES

BRICK

APARTMENT LEFT SIDE ELEVATION



HARDIE LAP SIDING
AND TRIM

ARCHITECTURAL SHINGLES

BRICK

APARTMENT RIGHT SIDE ELEVATION



HARDIE BOARD AND BATTON
SIDING AND TRIM

ARCHITECTURAL SHINGLES

BRICK

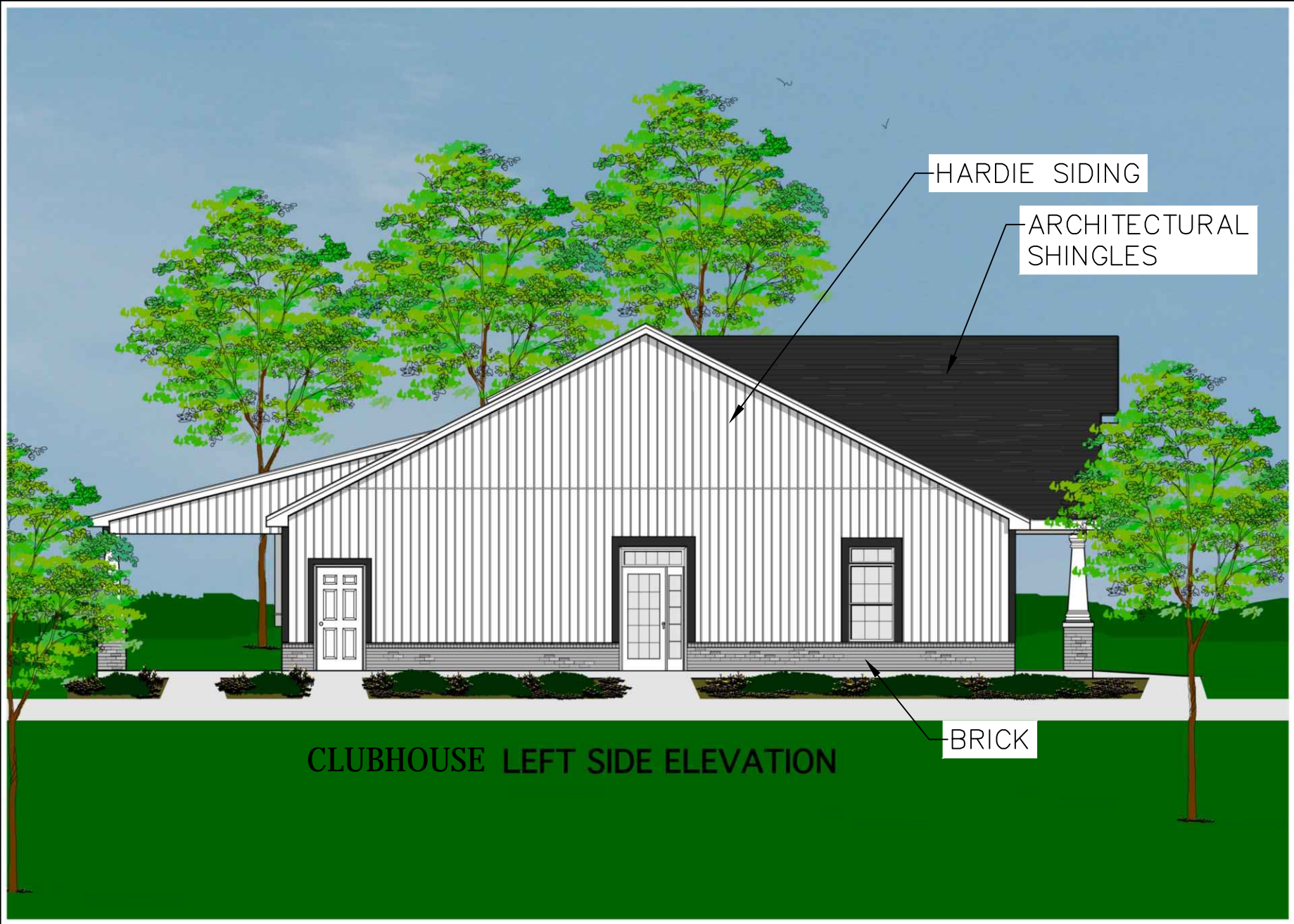
CLUBHOUSE FRONT ELEVATION

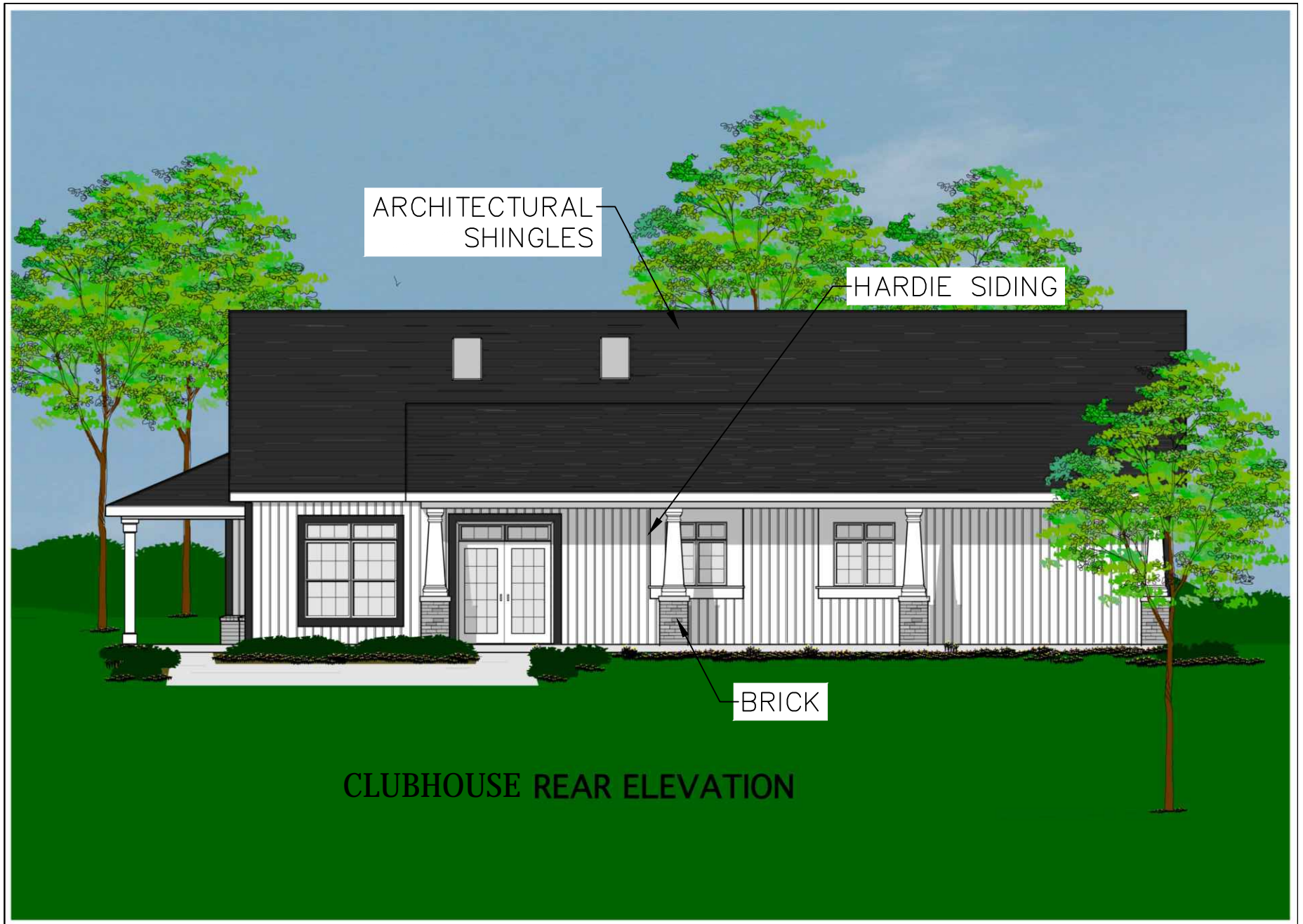
HARDIE SIDING

ARCHITECTURAL
SHINGLES

BRICK

CLUBHOUSE LEFT SIDE ELEVATION



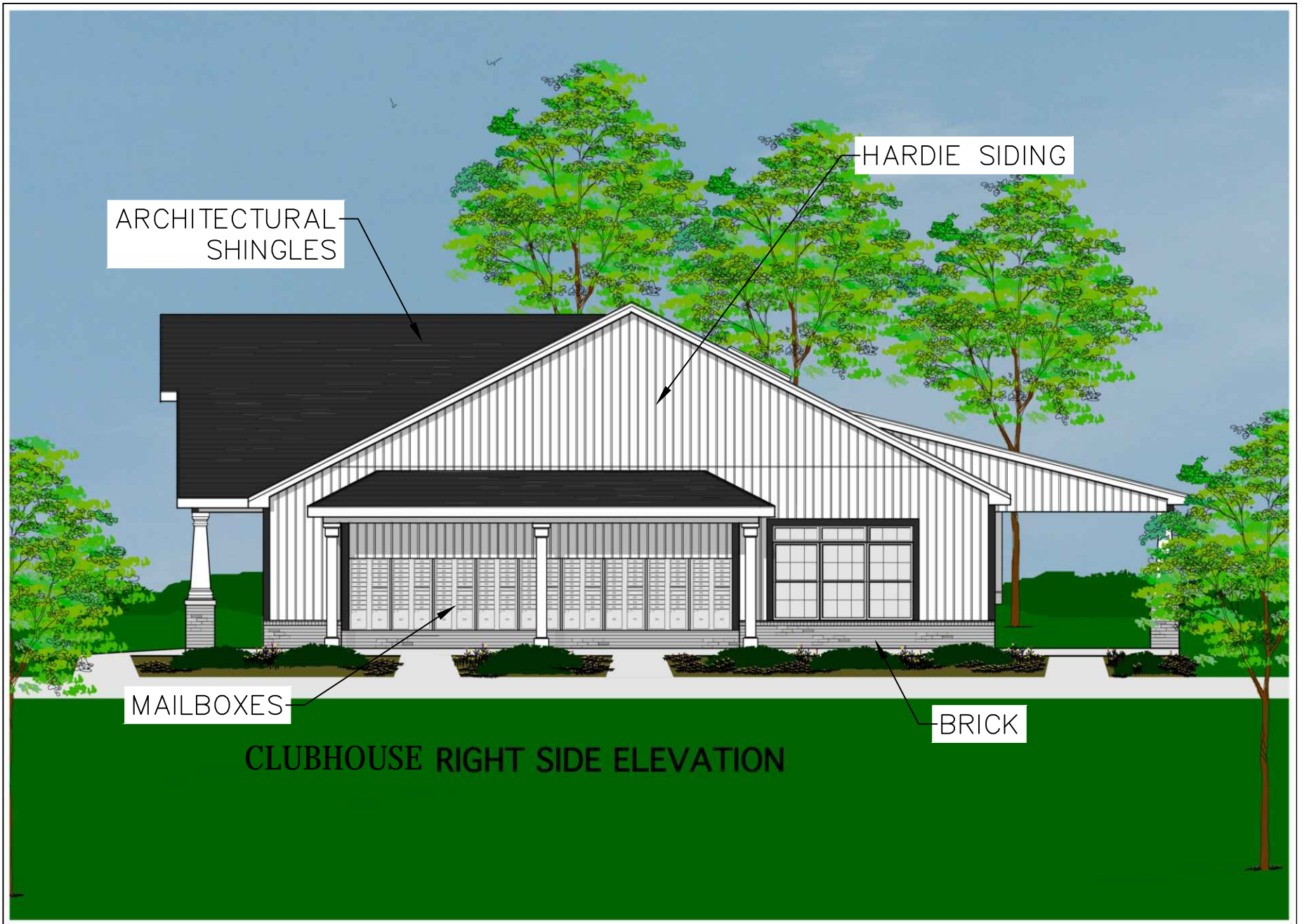


ARCHITECTURAL SHINGLES

HARDIE SIDING

BRICK

CLUBHOUSE REAR ELEVATION



ARCHITECTURAL SHINGLES

HARDIE SIDING

MAILBOXES

BRICK

CLUBHOUSE RIGHT SIDE ELEVATION



City Hall
2032 Hanley Road
Dardenne Prairie, MO 63368
Phone 636.561.1718
Fax 636.625.0077

PLAT SUBMITTAL INFORMATION

CITY OF DARDENNE PRAIRIE, MISSOURI

www.DardennePrairie.org

Designer or Surveyor: St. Charles Engineering & Surveying, Inc.

Company Name
Michael Meiners, President

Printed Name, Title
801 South Fifth Street, Suite 202

Street Address
St. Charles, MO 63301

City/State/Zip Code
636-947-0607

Telephone mmeiners@stcharleseng.com Facsimile

Email Address

OWNER (attach additional): Townsquare Commercial LLC

Contract Purchaser/Developer: _____

Printed Name Ranga Suresh Company Name _____

Printed Name _____ Printed Name, Title _____

Street Address _____ Street Address _____

City/State/Zip Code 314-570-6242 City/State/Zip Code _____

Telephone _____ Facsimile _____ Telephone _____ Facsimile _____

Email Address _____ Email Address _____

PARCEL ADDRESS: 300 to 324 Harmony Meadows Court, Dardenne Prairie, MO 63368

PARCEL ID Number(s): 4-0033-D546-00-0003.0000000

EXISTING ZONING: UD Uptown District

LAND USE TYPE (Residential / Commercial / Industrial / Mixed): Commercial/Retail

TYPE OF PLAT: Record Plat NO. UNITS: _____
(Preliminary / Final / Lot Split / Consolidation / Re-Subdivision / Record Plat/ Display House)

PLAT REVIEW FEE SUBMITTED: _____

Please Note:

- No subdivision plat or replat shall be filed for record or recorded in the office of the Recorder of Deeds for St. Charles County, Missouri, unless and until the approval of the City Clerk is endorsed thereon. No lot shall be sold for such subdivision plat or replat until it has been approved by the above and approved by the City Engineer and filed for record in the office of the Recorder of Deeds of St. Charles County, Missouri.
- Approval of a Display House Plat is the procedure necessary for the construction of a display house prior to the recording of the record subdivision plat.
All permanent structures shall be located on an approved subdivided lot by means of a record plat within one (1) year of the display house plat approval or such longer period as may be permitted by the City Engineer. If the record plat is not approved and recorded at the St. Charles County Recorder of Deeds office within the one (1) year period referred to above, the then owner shall remove or cause to be removed all structures from the property. Failure of the then owner to remove all structures from the property with ten (10) days of the end of the one (1) year period referred to above shall constitute a violation of the Municipal Code.
- After the improvement plans have been approved and all inspection fees paid, but before approval of the record subdivision plat, the developer shall guarantee the completion of improvements required by the approved improvement plans ("required improvements") and guarantee maintenance of such improvements as required by the Municipal Code.

CHECKLIST TO COMPLETE THIS APPLICATION

- Two (2) folded copies of the plat are provided.
Additional copies will be requested upon review by the City Engineer.
- The plat review fee is provided with this application.

Before signing this application, make sure all items above are completed

<u>90. Komana J. VADIVSKU</u>	<u>12/20/20</u>
Designer or Surveyor's Signature	Date
<u>Ch. R. Suresh</u>	<u>12/20/20</u>
Owner's Signature (additional below)	Date

NOTE: By affixing signatures to this form, the signers hereby verify that: they have reviewed the applicable platting regulations; they are familiar with the specific requirements relative to this submission; and they take full responsibility for this plat. The above signatures further indicate that the information provided on this form and on any additional data attached hereto is true, complete, and accurate.



City Hall
2032 Hanley Road
Dardenne Prairie, MO 63368
Phone 636.561.1718
Fax 636.625.0077

P.U.D. REQUEST – FINAL PLAN
CITY OF DARDENNE PRAIRIE, MISSOURI

www.DardennePrairie.org

APPLICANT: St. Charles Engineering & Surveying, Inc.
Company Name
Michael Meiners, President
Printed Name, Title
801 South Fifth Street, Suite 202
Street Address
St. Charles, MO 63301
City/State/Zip Code
636-947-0607 mmeiners@stcharleseng.com
Telephone Facsimile

STREET ADDRESS OF PROPERTY: 300 to 324 Harmony Meadows Court,
Dardenne Prairie, MO 63368

OWNER (attach additional): <u>Townsquare Commercial LLC</u> Printed Name <u>Ranga Suresh</u> Printed Name <u>Street Address</u> <u>City/State/Zip Code</u> <u>314-570-6242 rangasuresh@outlook.com</u> Telephone Facsimile	Contract Purchaser/Developer: <u>Azack Construction Company, LLC</u> Company Name <u>Kumara S. Vandivelu, Constuction Manager</u> Printed Name, Title <u>106 Log Hill Lane</u> Street Address <u>Ballwin, MO 63011</u> City/State/Zip Code <u>314-520-6844, kv.azackconstruction@yahoo.com</u> Telephone Facsimile
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LEGAL DESCRIPTION OF PROPERTY (other than address) Lots 1, 2, and 3 of The Condos at Town Center Subdivision as recorded in 2024R - 026773

EXISTING ZONING: UD Uptown District

PROPOSED USE: Commercial/Retail

FINAL PLAN REVIEW FEE SUBMITTED: _____

PUD REQUEST - FINAL PLAN

1. The submitted final plan shall be prepared on sheet(s) not to exceed twenty-four (24) inches by thirty-six (36) inches and meet the requirements of Article IV "PUD Planned Unit Development"
2. A landscape plan on sheet(s) not to exceed twenty-four (24) inches by thirty-six (36) inches and meeting the requirements of Article IX "Landscaping and Screening" shall be included as part of the final plan submitted.
3. The final plan shall conform to the approved area plan, except that minor variations in layout may be permitted at the discretion of the City and without amendment of the approved area plan.

Note: All plans, architectural drawings, renderings or other materials or visual aids either submitted to the Commission and/or Board of Aldermen or presented at their meeting shall become the property of the City and part of the permanent record of any approval.

_____ Two (2) copies of the plan are provided.
Additional copies for distribution to Planning and Zoning Commission and Board of Aldermen members will be requested upon review by the City Engineer.

_____ Electronic and paper copy of legal description of the property are provided. Electronic files may be sent via email to the Planning Manager (tstreiler@dardennepairie.org).

_____ The applicant is required to appear before the Planning and Zoning Commission and Board of Aldermen.

Please Note:

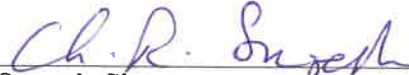
Prior to approval of a Building Permit, the appropriate Fire Protection District will need to review and approve the development. Any signage to be placed on the subject property requires a separate Sign Permit or Master Sign Plan. Any business occupying the site requires approval of a Business License.



Applicant's Signature

12/20/24

Date



Owner's Signature

12/20/24

Date

NOTE: By affixing signatures to this application form, the Applicant and Owner hereby verify that: they have reviewed the applicable zoning regulations; they are familiar with the specific requirements relative to this application; and they take full responsibility for this application. The above signatures further indicate that the information provided on this form and on any additional data attached hereto is true, complete, and accurate.



Todd M. Streiler AICP, LEED AP
Planning & Development Manager
Tstreiler@DardennePrairie.org
Phone 636.755.5314

TO: Planning and Zoning Commission

FROM: Todd Streiler, Planning & Development Manager

DATE: January 03, 2025

SUBJECT: Condos At Town Center Amended Final PUD Plan & Record Plat

Background

The subject property was rezoned from "ND" New Development to "C-2" PUD and the Area Plan approved via Ordinance #2200 on August 17th 2022. The PUD Final Plan for the Condos at Town Center was approved via Ordinance #2216 on October 19, 2022.

On May 15, 2024, Ordinance #2302 approved the Record Plat for the Condos at Town Center which subdivided the development into three (3) lots; Lot 1 contains a 5,000 SF commercial building and lots 2 & 3 each contain a three (3) story building containing 24 residential condo units. In November 2024, a CUP was approved allowing restaurants, cafeterias, cocktail lounges, bars and taverns, ice cream parlors and tearooms; retail stores; and Bakery, bottling works, and food packaging for the 5,000 SF building located at 300-324 Town Square Avenue.

At the Planning Commission's December 11, 2024, meeting, the Commission recommended the Board approve the 1st Amended Area Plan and on January 8th the Board approved the 1st Amended Area Plan showing 5 individual commercial condo units. The next step in the PUD process is for the Planning Commission to review and provide a recommendation for the Amended Final Plan and Record Plat. The petitioner has submitted applications for the Amended Final Plan and the Record Plat, see attached.

Recommended Action

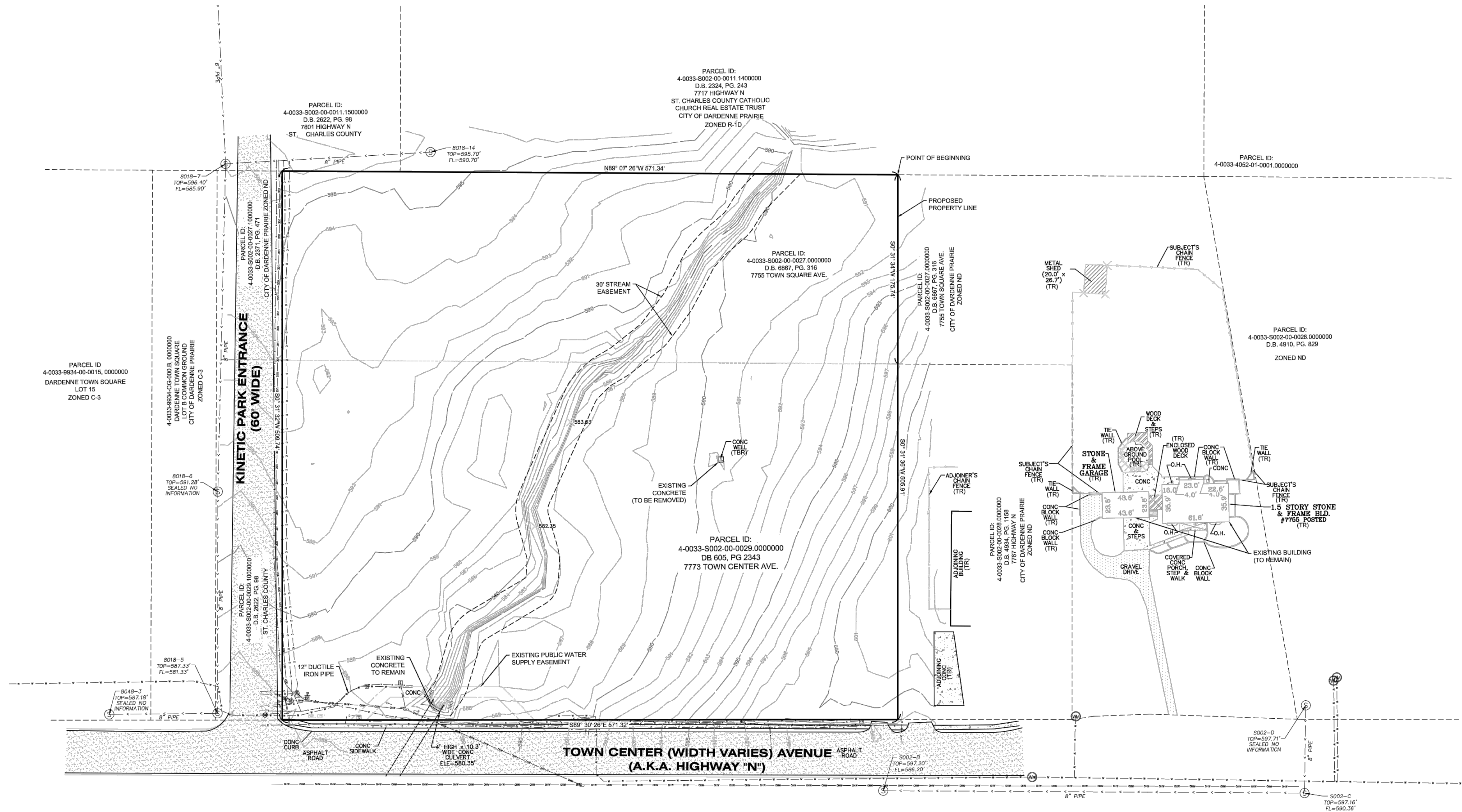
Upon review, Staff found that the 1st Amended Final Plan and Record Plat are consistent with the approved 1st Amended Area Plan / Preliminary Plat. The only "change" from the original approved plans and the proposed amendment is the commercial building was subdivided into five (5) separate units so they may be individual owned. Staff recommends the Planning Commission pass the following motions:

- 1. Motion to recommend the Board approve the 1st Amended Final Plan.**
- 2. Motion to recommend the Board approve the Record Plat.**

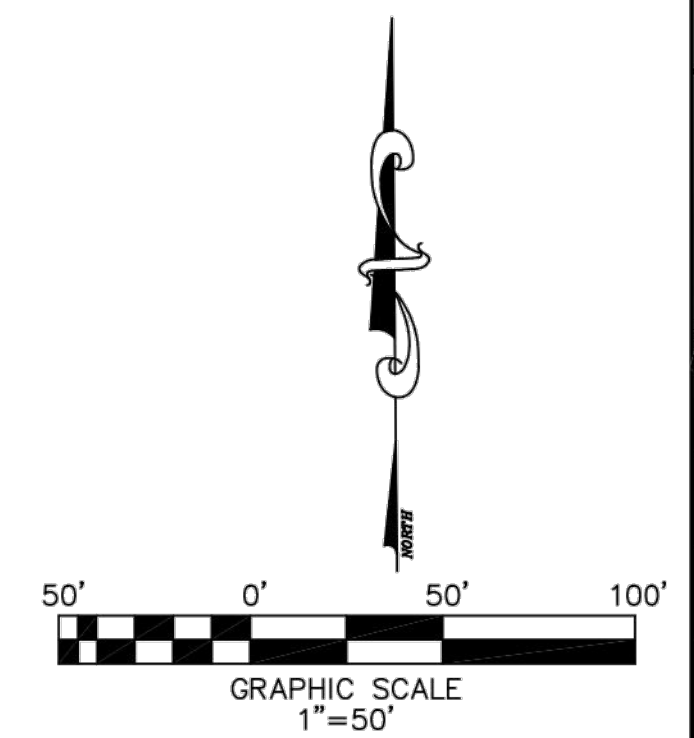
Motions should be in the affirmative. Should a commissioner decide to deny the Amended Area Plan, they should vote "Nay" to a motion to approve.

Next Steps

No further P&Z action required at this time.



UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING AND/OR CONSTRUCTION OF IMPROVEMENTS.

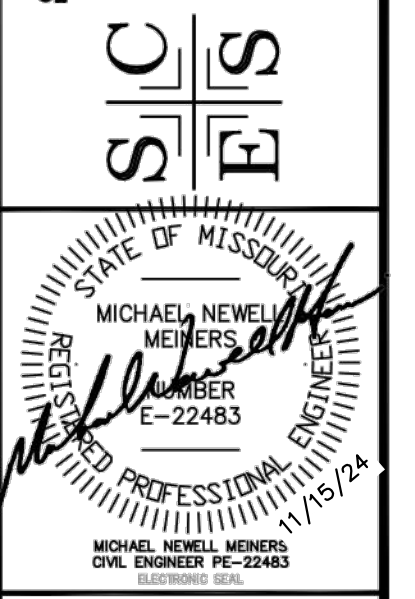


FINAL PLAN SUBMITTAL
09-20-2022

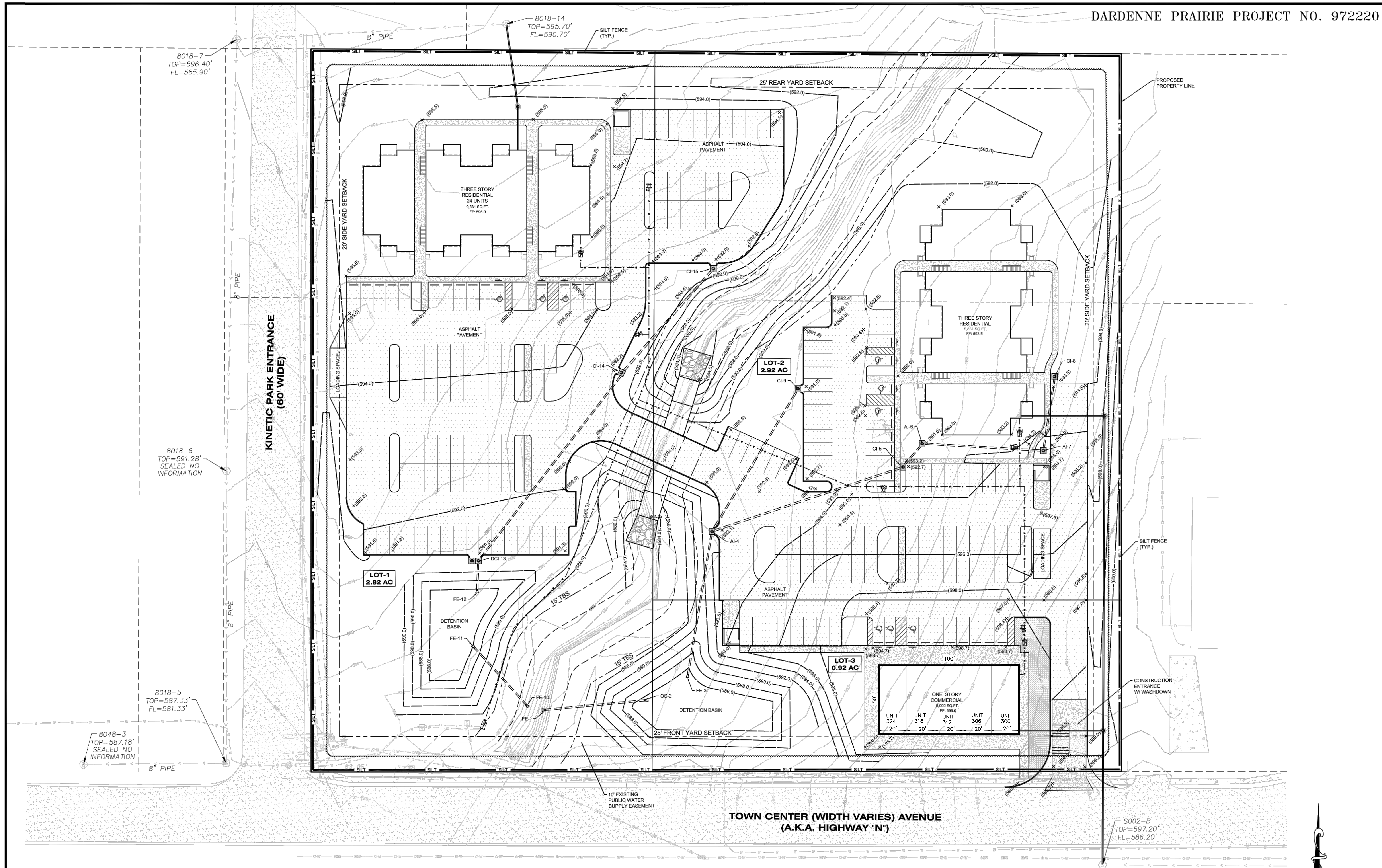
AMENDED FINAL PLAN for
**CONDOS AT
TOWN CENTER**
EX CONDITIONS AND DEMO

ST. CHARLES ENGINEERING & SURVEYING, INC.
801 S. FIFTH STREET, SUITE 202
ST. CHARLES, MO 63801
TEL: (636) 947-0607 FAX: (636) 947-2448

ST. CHARLES ENGINEERING AND SURVEYING, INC.
PROFESSIONAL ENGINEERING AND LAND SURVEYING CORPORATION
MISSOURI STATE CERTIFICATE OF AUTHORITY - 001647 & 000379

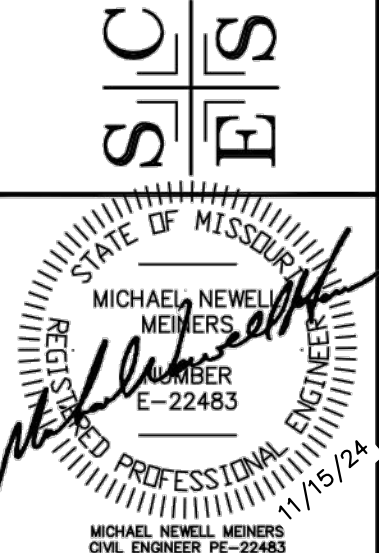


ORDER NO. 2022067
DATE 11/15/2024
C21



AMENDED FINAL PLAN for
**CONDOS AT
 TOWN CENTER**
 GRADING PLAN

ST. CHARLES ENGINEERING & SURVEYING, INC.
 801 S. FIFTH STREET, SUITE 202
 ST. CHARLES, MO 63301
 TEL: (636) 947-0607 FAX: (636) 947-2448
 ST. CHARLES ENGINEERING AND SURVEYING, INC.
 PROFESSIONAL ENGINEERING AND LAND SURVEYING CORPORATION
 MISSOURI STATE CERTIFICATES OF AUTHORITY - 001647 & 000379



ORDER NO.
 2022067
DATE
 11/15/2024
C41

SR.NO.	CONTOURS	AREAS IN BASIN	
		WEST BASIN (SQ.FT.)	EAST BASIN (SQ.FT.)
1	586	2142	2714
2	588	3585	4390
3	590	5373	6200

Call BEFORE you DIG
 TOLL FREE
 1-800-344-7483
 MISSOURI ONE-CALL SYSTEM, INC.

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING AND/OR CONSTRUCTION OF IMPROVEMENTS.

I: 2022067 - 7755 & 7773 HIGHWAY N\CAD\09-19-2022 Primavera\2022067 SITE PLAN.dwg 09/20/22-1:56pm

GRADING NOTES:

- 1. UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING AND/OR CONSTRUCTION OF IMPROVEMENTS.
2. SEDIMENT AND EROSION CONTROL SHALL NOT BE LIMITED TO WHAT IS SHOWN ON THE PLANS. THE CONTRACTOR SHALL UTILIZE THE BEST MANAGEMENT PRACTICES TO PREVENT SEDIMENT FROM ENTERING ADJACENT PROPERTIES, ROADWAYS, STORM SEWERS AND DRAINAGEWAYS.
3. NO AREA SHALL BE CLEARED WITHOUT PERMISSION OF THE DEVELOPER.
4. OWNER/DEVELOPER ASSUMES FULL RESPONSIBILITY AS TO THE PERFORMANCE OF THE GRADING OPERATION AND ASSURANCE THAT ALL PROPERTIES AND COUNTY AND STATE ROADS WILL BE ADEQUATELY PROTECTED.
5. SITE PREPARATION INCLUDES THE CLEARANCE OF ALL STUMPS, TREES, BUSHES, SHRUBS, AND WEEDS, THE GRUBBING AND REMOVAL OF ROOTS AND OTHER SURFACE OBSTRUCTIONS FROM THE SITE, AND THE DEMOLITION AND REMOVAL OF ANY MAN-MADE STRUCTURES. THE UNSUITABLE MATERIAL SHALL BE PROPERLY DISPOSED OF OFF-SITE. TOPSOIL AND GRASS IN THE FILL AREAS SHALL BE THOROUGHLY DISCED PRIOR TO THE PLACEMENT OF ANY FILL. THE SOILS ENGINEER SHALL APPROVE THE DISCING OPERATION.
6. COMPACTION EQUIPMENT SHALL CONSIST OF TAMPING ROLLERS, PNEUMATIC-TIRED ROLLERS, VIBRATORY ROLLERS OR HIGH SPEED IMPACT TYPE DRUM ROLLERS ACCEPTABLE TO THE SOILS ENGINEER. THE ROLLERS SHALL BE DESIGNED SO AS TO AVOID THE CREATION OF A LAYERED FILL WITHOUT PROPER BLENDING OF SUCCESSIVE FILL LAYERS.
7. THE SOILS ENGINEER SHALL OBSERVE AND TEST THE PLACEMENT OF THE FILL TO VERIFY THAT SPECIFICATIONS ARE MET. A SERIES OF FILL DENSITY TESTS WILL BE DETERMINED ON EACH LIFT OF FILL. INTERIM REPORTS, INCLUDING COMPACTION TEST REPORTS, SHOWING FILL QUALITY WILL BE MADE TO THE OWNER AND CITY ENGINEER OF DARDENNE PRAIRIE AT REGULAR INTERVALS.
8. THE SOILS ENGINEER SHALL NOTIFY THE CONTRACTOR OF REJECTIONS OF A LIFT OF FILL OR PORTION THEREOF. THE CONTRACTOR SHALL REWORK THE REJECTED PORTION OF FILL AND OBTAIN NOTIFICATION FROM THE SOILS ENGINEER OF ITS ACCEPTANCE PRIOR TO THE PLACEMENT OF ADDITIONAL FILL.
9. ALL AREAS TO RECEIVE FILL SHALL BE SCARIFIED TO A DEPTH OF NOT LESS THAN 6 INCHES AND THEN COMPACTED TO AT LEAST 90 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-180 COMPACTION TEST (ASTM-D1557) (OR 95% STANDARD PROCTOR). NATURAL SLOPES STEEPER THAN 1 VERTICAL TO 3 HORIZONTAL TO RECEIVE FILL SHALL HAVE HORIZONTAL BENCHES CUT INTO THE SLOPES BEFORE THE PLACEMENT OF FILL. THE WIDTH AND HEIGHT TO BE DETERMINED BY THE SOILS ENGINEER. THE FILL SHALL BE LOOSELY PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 8 INCHES IN THICKNESS AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS GIVEN BELOW. THE SOILS ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING THE ACCEPTABILITY OF SOILS PLACED. ANY UNACCEPTABLE SOILS PLACED SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE.
10. THE SEQUENCE OF OPERATION IN THE FILL AREAS WILL BE: FILL, COMPACT, VERIFY ACCEPTABLE SOIL DENSITY, AND REPETITION OF THE SEQUENCE. THE ACCEPTABLE MOISTURE CONTENTS DURING THE FILLING OPERATION ARE THOSE AT WHICH SATISFACTORY DRY DENSITIES CAN BE OBTAINED. THE ACCEPTABLE MOISTURE CONTENTS DURING THE FILLING OPERATION IN THE REMAINING AREAS ARE FROM 2% BELOW TO 6% ABOVE THE OPTIMUM MOISTURE CONTENT.
11. THE SURFACE OF THE FILL SHALL BE FINISHED SO THAT IT WILL NOT IMPOUND WATER. IF AT THE END OF A DAYS WORK IT WOULD APPEAR THAT THERE MAY BE RAIN PRIOR TO THE NEXT WORKING DAY, THE SURFACE SHALL BE FINISHED SMOOTH. IF THE SURFACE HAS BEEN FINISHED SMOOTH FOR ANY REASON, IT SHALL BE SCARIFIED BEFORE PROCEEDING WITH THE PLACEMENT OF SUCCEEDING LIFTS. FILL SHALL NOT BE PLACED ON FROZEN GROUND.
12. ALL LOW PLACES WHETHER ON SITE OR OFF SITE SHOULD BE GRADED TO ALLOW DRAINAGE. THIS MAY BE ACCOMPLISHED WITH TEMPORARY DITCHES. ANY OFF SITE DRAINAGE EASEMENTS SHALL BE ACQUIRED BEFORE OFF SITE GRADING IS TO BEGIN.
13. ALL EXCAVATIONS, GRADING OR FILLING SHALL HAVE A FINISHED GRADE NOT TO EXCEED A 3:1 SLOPE (33%).
14. ANY WELLS AND/OR SPRINGS WHICH MAY EXIST ON THIS PROPERTY SHOULD BE LOCATED AND SEALED IN A MANNER ACCEPTABLE WITH THE CITY OF DARDENNE PRAIRIE, ST. CHARLES COUNTY HIGHWAY DEPARTMENT.
15. ALL FILLED PLACES UNDER PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS INCLUDING TRENCH BACKFILLS WITHIN AND OFF THE ROAD RIGHT-OF-WAY SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST" (ASTM D-1557) OR 95% OF MAXIMUM DENSITY AS DETERMINED BY THE "STANDARD PROCTOR TEST AASHTO T-99". ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
16. ALL FILL PLACED IN PROPOSED AND EXISTING ROADS (HIGHWAYS) SHALL BE COMPACTED FROM THE BOTTOM OF THE FILL UP TO 90% MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST" (ASTM D-1557) OR 95% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99. ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
17. SOFT SOILS IN THE BOTTOM AND BANKS OF ANY EXISTING OR FORMER POND SITES OR TRIBUTARIES OR ANY SEDIMENT BASINS OR TRAPS SHOULD BE REMOVED, SPREAD OUT AND PERMITTED TO DRY SUFFICIENTLY TO BE USED AS FILL. NONE OF THIS MATERIAL SHOULD BE PLACED IN PROPOSED PUBLIC RIGHT-OF-WAY LOCATIONS OR ON ANY STORM SEWER LOCATION.
18. TEMPORARY SILTATION CONTROL MEASURES (STRUCTURAL) SHALL BE MAINTAINED UNTIL VEGETATIVE COVER IS ESTABLISHED AT A SUFFICIENT DENSITY TO PROVIDE EROSION CONTROL ON THE SITE.
19. IF STRAW BALES OR SILT FENCES ARE DESTROYED BY HEAVY RAINS, VANDALISM, ETC., THEY ARE TO BE REPAIRED AND OR REPLACED IMMEDIATELY.
20. WHEN GRADING OPERATIONS ARE COMPLETED OR SUSPENDED FOR MORE THAN THIRTY (30) DAYS, PERMANENT GRASS MUST BE ESTABLISHED AT SUFFICIENT DENSITY (AT LEAST SEVENTY-FIVE (75) PERCENT VEGETATIVE COVER) TO PROVIDE EROSION CONTROL ON THE SITE. BETWEEN PERMANENT GRASS SEEDING PERIODS, TEMPORARY COVER SHALL BE PROVIDED ACCORDING TO THE CITY ENGINEER'S RECOMMENDATION. REFER TO THE CITY OF DARDENNE PRAIRIE'S GRADING REQUIREMENTS.
21. ALL EXISTING SITE IMPROVEMENTS DISTURBED, DAMAGED OR DESTROYED SHALL BE REPAIRED OR REPLACED TO THEIR ORIGINAL CONDITION.
22. ALL TRASH AND DEBRIS ON-SITE, EITHER EXISTING OR FROM CONSTRUCTION, MUST BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE.
23. DEBRIS AND FOUNDATION MATERIAL FROM ANY EXISTING ON-SITE BUILDING OR STRUCTURE WHICH IS SCHEDULED TO BE RAZED FOR THIS DEVELOPMENT MUST BE DISPOSED OF OFF-SITE.
24. THE TOTAL YARDAGE OF THIS PROJECT IS BASED ON A 15 % SHRINKAGE FACTOR.
25. THE SHRINKAGE FACTOR IS SUBJECT TO CHANGE, DUE TO SOIL CONDITIONS (TYPES AND MOISTURE CONTENT), WEATHER CONDITIONS, AND THE PERCENTAGE OF COMPACTION ACTUALLY ACHIEVED AT THE TIME OF THE YEAR GRADING IS PERFORMED. AS A RESULT, ADJUSTMENTS IN FINAL GRADE MAY BE REQUIRED. IF ADJUSTMENTS NEED TO BE MADE, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER AT ST. CHARLES ENGINEERING AND SURVEYING, INC. PRIOR TO COMPLETION OF THE GRADING.
26. THE VERTICAL GRADING TOLERANCE SHALL BE PLUS OR MINUS 0.2 FEET FOR ALL ROUGH GRADING.
27. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO CITY OF DARDENNE PRAIRIE STANDARDS AND SPECIFICATIONS.
28. THE CONTRACTOR SHALL PREVENT ALL STORMS/SURFACE WATER, MUD OR CONSTRUCTION DEBRIS FROM ENTERING THE EXISTING STORM SEWER SYSTEM.
29. UPON COMPLETION OF STORM SEWERS, SILTATION CONTROL SHALL BE PROVIDED AROUND ALL OPEN SEWER INLETS AND SHALL REMAIN UNTIL THE DISTURBED DRAINAGE AREAS HAVE BEEN PROPERLY STABILIZED.

- 30. ALL FILLED PLACES UNDER PROPOSED STORM AND SANITARY SEWER LINES, BUILDING AREAS AND/OR PAVED AREAS AND STORMWATER DETENTION BASIN BERMS SHALL BE COMPACTED TO NINETY PERCENT (90%) OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-180 COMPACTION TEST OR NINETY-FIVE PERCENT (95%) OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99.
31. ALL FILL PLACED IN PROPOSED ROADS AREAS SHALL BE COMPACTED FROM THE BOTTOM OF THE FILL UP TO NINETY PERCENT (90%) OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-180 COMPACTION TEST OR NINETY-FIVE PERCENT (95%) OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99. ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
32. A COPY OF ALL SOIL BORING, SOIL COMPACTION AND STREET BASE COMPACTION TESTS RESULTS AND REPORTS SHALL BE PROVIDED TO THE CITY ENGINEER.
33. COMPACTED GRANULAR BACKFILL SHALL BE REQUIRED IN ALL TRENCH EXCAVATION WITHIN PUBLIC OR PRIVATE STREET RIGHTS-OF-WAY OR AREAS WHERE STREET RIGHTS-OF-WAY ARE ANTICIPATED TO BE DEDICATED FOR PUBLIC USE. UNDER AREAS TO BE PAVED, THE COMPACTED GRANULAR BACKFILL SHALL BE PLACED TO THE SUBGRADE OF THE PAVEMENT. UNDER UNPAVED AREAS, THE COMPACTED GRANULAR BACKFILL SHALL BE PLACED WITHIN TWO (2) FEET OF THE FINISHED SURFACE.
34. IT IS CRITICAL THAT TEMPORARY AND PERMANENT SURFACE STABILIZATION BE PROVIDED AS SOON AS POSSIBLE TO REDUCE EROSION AT THE SOURCE. THERE ARE SEVERAL ACCEPTABLE METHODS TO STABILIZE BARE GROUND: REVEGETATION BY SEEDING OR SODDING, MULCHING, EROSION CONTROL BLANKETS, SOIL BINDERS, ROCK TOPPING, STRUCTURAL TOPPING SUCH AS CONCRETING, ETC. TEMPORARY SEED AND SURFACE STABILIZATION METHODS CAN BE USED IF THE AREA WILL BE DISTURBED LATER IN THE DEVELOPMENT. THE AREA SHOULD BE PERMANENTLY REVEGETATED OR SURFACED WHEN NO FURTHER LAND DISTURBANCE WILL OCCUR.
35. BARE GROUND MUST BE STABILIZED BY REVEGETATION, MULCHING, EROSION CONTROL BLANKETS AND NETTING, SOIL BINDERS, ROCK SURFACING, STRUCTURAL TOPPING, OR OTHER APPROVED TECHNIQUES.
36. THE FOLLOWING PROVISIONS SHALL APPLY TO SURFACE STABILIZATION:
- SURFACE STABILIZATION MUST EFFECTIVELY STABILIZE AT LEAST 70% OF THE TOTAL DISTURBED SITE AREA.
- SURFACE STABILIZATION MAY BE SUSPENDED FROM PORTIONS OF THE PROJECT AREA WHICH HAVE AN ACTIVE BUILDING PERMIT. UPON COMPLETION OF THE BUILDING ACTIVITY, THE SITE MUST BE PERMANENTLY STABILIZED.
- NON-DEGRADABLE MATS SHALL BE USED ONLY AS A PERMANENT INSTALLATION, AND IN AREAS THAT WILL NOT BE MOWED.
37. SURFACE STABILIZATION SHALL BE SCHEDULED AS PROVIDED IN THE TABLE BELOW:

Table with 2 columns: Soil Disturbance Activity or Condition, Required Stabilization Time. Rows include soil disturbance cessation, construction flow areas, moisture content, slopes, perimeter controls, and stabilization methods.

- 38. TEMPORARY SEEDING AND MULCHING SHALL BE APPLIED TO ALL CLEARED, UNVEGETATED, OR SPARSELY VEGETATED SOIL SURFACES WHERE VEGETATIVE COVER IS REQUIRED FOR LESS THAN 1 YEAR.
39. TEMPORARY SEEDING SHALL GERMINATE TO A DENSITY OF AT LEAST 70% OF THE TOTAL DISTURBED SITE AREA.
40. TEMPORARY SEEDING MAY BE USED FOR DIVERSIONS, DAMS, TEMPORARY SEDIMENT BASINS, TEMPORARY ROAD BANKS, TOPSOIL STOCKPILES, AND ANY OTHER EXPOSED AREAS OF A CONSTRUCTION SITE, WHICH MEET VELOCITY AND OTHER REQUIREMENTS FOR ITS USE.
41. TEMPORARY SEEDING MAY BE SUSPENDED FROM INDIVIDUAL LOTS LOCATED IN THE PROJECT AREA, WHICH HAVE AN ACTIVE BUILDING PERMIT. UPON COMPLETION OF THE BUILDING ACTIVITY, THE SITE SHALL BE PERMANENTLY VEGETATED.
42. SEEDED AREAS SHALL BE RE-FERTILIZED 4 WEEKS AFTER INITIAL SEEDING. ALL AREAS IDENTIFIED AS BARE AND SPARSE (LESS THAN 30% GROUND COVER) DURING THE INSPECTION SHALL BE RE-SEEDED AND MULCHED. GRASS SHALL NOT BE CUT UNTIL 4 INCHES OF GROWTH OCCURS.
43. SEED MUST BE CLEAN, RELATIVELY FREE OF WEED SEED AND OTHER CONTAMINANTS, AND COMPLY WITH THE FEDERAL SEED ACT AND THE MISSOURI STATE SEED LAW. SEED THAT HAS BECOME WET, MOLDY, OR OTHERWISE DAMAGED IN TRANSIT OR STORAGE IS NOT ACCEPTABLE. TURF MIXES CAN BE USED WITH NO MORE THAN 10% KENTUCKY BLUEGRASS AND AT LEAST 20% PERENNIAL RYE.
44. SEEDBED PREPARATION IS ESSENTIAL FOR THE SEED TO GERMINATE AND GROW. FOR BROADCAST SEEDING AND DRILLING, LOOSEN THE TOP 2 TO 6 INCHES OF SOIL. LIME AND FERTILIZER SHOULD BE INCORPORATED BY DISKING. FREQUENT TILLAGE OR GRADING OPERATIONS HAVE RESULTED IN A LOOSE SURFACE. ADDITIONAL TILLAGE MAY NOT BE REQUIRED. IF RAINFALL CAUSED THE SOIL SURFACE TO BECOME SEALED OR CRUSTED, SURFACE TILLING WILL BE REQUIRED PRIOR TO SEEDING.
45. THE SEEDBED AREA SHALL BE TESTED BY AN APPROVED NURSERY FOR PROPER APPLICATION RATES OF LIME AND FERTILIZER. RESULTS OF THE TEST ARE TO BE SENT TO THE CITY ENGINEER WITH THE RECOMMENDED APPLICATION RATES. MULCHING OR THE ADDITION OF STOCKPILED TOPSOIL IS REQUIRED ON ALL SEEDBEDS PRIOR TO THE PLACEMENT OF SEED WHEREVER THERE ARE INADEQUATE AMOUNTS OF TOPSOIL. MULCH SHALL BE APPLIED AFTER SEEDING FOR PROTECTION AND TO AID IN SEED GERMINATION. MULCH SHALL BE USED AFTER SEEDING.
46. IN LIEU OF SOIL TESTING FOR LAND DISTURBANCE SITES LESS THAN TWO (2) ACRES, THE FOLLOWING FERTILIZER AND LIME RATES SHALL BE APPLIED:

Table with 2 columns: Soil Amendment Material, Application Rate (Lb per Acre). Rows include Nitrogen (N), Phosphate (P2O5), Potash (K2O), and Lime.

- 47. IN AREAS THAT ARE ON SLOPES FLATTER THAN 4:1 AND THAT ARE NOT WITHIN WATERCOURSES, SEEDING SHALL BE APPLIED AT THE RATES AND TIMES SPECIFIED IN THE "TEMPORARY FALL SEEDING" AND "TEMPORARY SPRING SEEDING" TABLES BELOW. SEED SHALL BE EVENLY SPREAD WITH A BROADCAST SEEDER, DRILL, OR HYDRO SEEDER. THE PROPER DEPTH IS 1/4 TO 1/2 INCHES DEEP FOR LEGUMES AND GRASSES SUCH AS ANNUAL RYEGRASS AND UP TO 1 AND 1/2 INCHES FOR CEREAL GRAINS. IF THE SEED IS APPLIED BY A BROADCAST METHOD, THE AREA WILL BE ROLLED OR CULTI-PACKED IMMEDIATELY AFTER SEEDING ON A PREPARED SEEDBED ONLY. ROLLING OR CULTI-PACKING IS NOT REQUIRED IF THE BROADCAST SEEDING RATE IS INCREASED BY 50 PERCENT.
48. THE FOLLOWING SUBMITTALS ARE REQUIRED PRIOR TO TEMPORARY & PERMANENT SEEDING:
- SOIL TEST REPORT
- SEEDING DATE
- FERTILIZATION MIXTURE & RATE
- SEED MIXTURE(S) AND RATE(S), SUPPLIER, PURITY PERCENTAGE
- MULCHING MATERIAL(S) AND APPLICATION RATE(S)
- MOWING HEIGHT AND SCHEDULE
49. SEEDED AREAS SHALL BE RE-FERTILIZED 4 WEEKS AFTER INITIAL SEEDING. ALL AREAS IDENTIFIED AS BARE AND SPARSE (LESS THAN 30% GROUND COVER) DURING THE INSPECTION SHALL BE RE-SEEDED AND MULCHED. GRASS SHALL NOT BE CUT UNTIL 4 INCHES OF GROWTH OCCURS.

- 50. CHANNELS, EMBANKMENTS, AND SLOPES OF 4:1 OR STEEPER, SEEDING SHALL BE A MIXTURE OF K31 FESCUE AND 90% AT A RATE OF 400 POUNDS PER ACRE.

Table: Temporary Fall Seeding. Columns: Plant Species, Rate (lb/acre), Seeding Times. Rows include Side- oats, Winter Rye, Winter Wheat, Orchard Grass, Perennial Ryegrass, Tall Fescue, Smooth Panic, K-31 Fescue, Ladino Clover, Common Clover, Orchard Grass and Oats Rye.

If using aerial seeding or other broadcast method to apply seed without rolling or culti-packing, increase seeding rates by 20 percent.

Table: Temporary Spring Seeding. Columns: Plant Species, Rate (lb/acre), Seeding Dates. Rows include Winter Rye, Spring Oats, Annual Ryegrass, Ladino Clover, K-31 Fescue, Red Clover & Oats.

If using aerial seeding or other broadcast method to apply seed without rolling or culti-packing, increase seeding rates by 20 percent.

- 51. MULCHING AND HYDRO MULCH ARE THE APPLICATION OF PLANT RESIDUES SUCH AS STRAW OR OTHER SUITABLE MATERIALS TO THE SOIL SURFACE. MULCH PROTECTS THE SOIL SURFACE FROM THE EROSION FORCE OF RAINDROP IMPACT AND REDUCES THE VELOCITY OF OVERLAND FLOW. IT HELPS SEEDLINGS GERMINATE AND GROW BY CONSERVING MOISTURE, PROTECTING AGAINST TEMPERATURE EXTREMES, AND CONTROLLING WEEDS. MULCH ALSO MAINTAINS THE INFILTRATION CAPACITY OF THE SOIL.
52. MULCH SHALL BE APPLIED TO SEEDED AREAS TO HELP ESTABLISH PLANT COVER. IT CAN ALSO BE USED AS TEMPORARY COVER IN UNSEEDED AREAS TO PROTECT AGAINST EROSION OVER THE WINTER OR UNTIL FINAL GRADING AND SHAPING CAN BE ACCOMPLISHED. APPLICATION RATES ARE SHOWN IN THE "MULCHING MATERIALS" TABLE BELOW.

Table: Mulching Materials. Columns: Material, Rate, Requirements, Installation Uses. Rows include Straw, Compost/Biochar, Wood chips, Wood mulch.

- 53. TEMPORARY SEEDING SHALL GERMINATE TO A DENSITY OF AT LEAST 70% OF THE TOTAL DISTURBED SITE AREA.
54. TEMPORARY SEEDING MAY BE USED FOR DIVERSIONS, DAMS, TEMPORARY SEDIMENT BASINS, TEMPORARY ROAD BANKS, TOPSOIL STOCKPILES, AND ANY OTHER EXPOSED AREAS OF A CONSTRUCTION SITE, WHICH MEET VELOCITY AND OTHER REQUIREMENTS FOR ITS USE.
55. TEMPORARY SEEDING MAY BE SUSPENDED FROM INDIVIDUAL LOTS LOCATED IN THE PROJECT AREA, WHICH HAVE AN ACTIVE BUILDING PERMIT. UPON COMPLETION OF THE BUILDING ACTIVITY, THE SITE SHALL BE PERMANENTLY VEGETATED.
56. SEEDED AREAS SHALL BE RE-FERTILIZED 4 WEEKS AFTER INITIAL SEEDING. ALL AREAS IDENTIFIED AS BARE AND SPARSE (LESS THAN 30% GROUND COVER) DURING THE INSPECTION SHALL BE RE-SEEDED AND MULCHED. GRASS SHALL NOT BE CUT UNTIL 4 INCHES OF GROWTH OCCURS.
57. SEED MUST BE CLEAN, RELATIVELY FREE OF WEED SEED AND OTHER CONTAMINANTS, AND COMPLY WITH THE FEDERAL SEED ACT AND THE MISSOURI STATE SEED LAW. SEED THAT HAS BECOME WET, MOLDY, OR OTHERWISE DAMAGED IN TRANSIT OR STORAGE IS NOT ACCEPTABLE. TURF MIXES CAN BE USED WITH NO MORE THAN 10% KENTUCKY BLUEGRASS AND AT LEAST 20% PERENNIAL RYE.
58. SEEDBED PREPARATION IS ESSENTIAL FOR THE SEED TO GERMINATE AND GROW. FOR BROADCAST SEEDING AND DRILLING, LOOSEN THE TOP 2 TO 6 INCHES OF SOIL. LIME AND FERTILIZER SHOULD BE INCORPORATED BY DISKING. FREQUENT TILLAGE OR GRADING OPERATIONS HAVE RESULTED IN A LOOSE SURFACE. ADDITIONAL TILLAGE MAY NOT BE REQUIRED. IF RAINFALL CAUSED THE SOIL SURFACE TO BECOME SEALED OR CRUSTED, SURFACE TILLING WILL BE REQUIRED PRIOR TO SEEDING.
59. THE SEEDBED AREA SHALL BE TESTED BY AN APPROVED NURSERY FOR PROPER APPLICATION RATES OF LIME AND FERTILIZER. RESULTS OF THE TEST ARE TO BE SENT TO THE CITY ENGINEER WITH THE RECOMMENDED APPLICATION RATES. MULCHING OR THE ADDITION OF STOCKPILED TOPSOIL IS REQUIRED ON ALL SEEDBEDS PRIOR TO THE PLACEMENT OF SEED WHEREVER THERE ARE INADEQUATE AMOUNTS OF TOPSOIL. MULCH SHALL BE APPLIED AFTER SEEDING FOR PROTECTION AND TO AID IN SEED GERMINATION. MULCH SHALL BE USED AFTER SEEDING.
60. IN LIEU OF SOIL TESTING FOR LAND DISTURBANCE SITES LESS THAN TWO (2) ACRES, THE FOLLOWING FERTILIZER AND LIME RATES SHALL BE APPLIED:

Table: Soil Amendment Rates. Columns: Soil Amendment Material, Application Rate (Lb per Acre). Rows include Nitrogen (N), Phosphate (P2O5), Potash (K2O), and Lime.

- 61. UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING AND/OR CONSTRUCTION OF IMPROVEMENTS.
62. SEDIMENT AND EROSION CONTROL SHALL NOT BE LIMITED TO WHAT IS SHOWN ON THE PLANS. THE CONTRACTOR SHALL UTILIZE THE BEST MANAGEMENT PRACTICES TO PREVENT SEDIMENT FROM ENTERING ADJACENT PROPERTIES, ROADWAYS, STORM SEWERS AND DRAINAGEWAYS.
63. NO AREA SHALL BE CLEARED WITHOUT PERMISSION OF THE DEVELOPER.
64. OWNER/DEVELOPER ASSUMES FULL RESPONSIBILITY AS TO THE PERFORMANCE OF THE GRADING OPERATION AND ASSURANCE THAT ALL PROPERTIES AND COUNTY AND STATE ROADS WILL BE ADEQUATELY PROTECTED.
65. SITE PREPARATION INCLUDES THE CLEARANCE OF ALL STUMPS, TREES, BUSHES, SHRUBS, AND WEEDS, THE GRUBBING AND REMOVAL OF ROOTS AND OTHER SURFACE OBSTRUCTIONS FROM THE SITE, AND THE DEMOLITION AND REMOVAL OF ANY MAN-MADE STRUCTURES. THE UNSUITABLE MATERIAL SHALL BE PROPERLY DISPOSED OF OFF-SITE. TOPSOIL AND GRASS IN THE FILL AREAS SHALL BE THOROUGHLY DISCED PRIOR TO THE PLACEMENT OF ANY FILL. THE SOILS ENGINEER SHALL APPROVE THE DISCING OPERATION.
66. COMPACTION EQUIPMENT SHALL CONSIST OF TAMPING ROLLERS, PNEUMATIC-TIRED ROLLERS, VIBRATORY ROLLERS OR HIGH SPEED IMPACT TYPE DRUM ROLLERS ACCEPTABLE TO THE SOILS ENGINEER. THE ROLLERS SHALL BE DESIGNED SO AS TO AVOID THE CREATION OF A LAYERED FILL WITHOUT PROPER BLENDING OF SUCCESSIVE FILL LAYERS.
67. THE SOILS ENGINEER SHALL OBSERVE AND TEST THE PLACEMENT OF THE FILL TO VERIFY THAT SPECIFICATIONS ARE MET. A SERIES OF FILL DENSITY TESTS WILL BE DETERMINED ON EACH LIFT OF FILL. INTERIM REPORTS, INCLUDING COMPACTION TEST REPORTS, SHOWING FILL QUALITY WILL BE MADE TO THE OWNER AND CITY ENGINEER OF DARDENNE PRAIRIE AT REGULAR INTERVALS.
68. THE SOILS ENGINEER SHALL NOTIFY THE CONTRACTOR OF REJECTIONS OF A LIFT OF FILL OR PORTION THEREOF. THE CONTRACTOR SHALL REWORK THE REJECTED PORTION OF FILL AND OBTAIN NOTIFICATION FROM THE SOILS ENGINEER OF ITS ACCEPTANCE PRIOR TO THE PLACEMENT OF ADDITIONAL FILL.
69. ALL AREAS TO RECEIVE FILL SHALL BE SCARIFIED TO A DEPTH OF NOT LESS THAN 6 INCHES AND THEN COMPACTED TO AT LEAST 90 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-180 COMPACTION TEST (ASTM-D1557) (OR 95% STANDARD PROCTOR). NATURAL SLOPES STEEPER THAN 1 VERTICAL TO 3 HORIZONTAL TO RECEIVE FILL SHALL HAVE HORIZONTAL BENCHES CUT INTO THE SLOPES BEFORE THE PLACEMENT OF FILL. THE WIDTH AND HEIGHT TO BE DETERMINED BY THE SOILS ENGINEER. THE FILL SHALL BE LOOSELY PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 8 INCHES IN THICKNESS AND COMPACTED IN ACCORDANCE WITH THE SPECIFICATIONS GIVEN BELOW. THE SOILS ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING THE ACCEPTABILITY OF SOILS PLACED. ANY UNACCEPTABLE SOILS PLACED SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE.
70. THE SEQUENCE OF OPERATION IN THE FILL AREAS WILL BE: FILL, COMPACT, VERIFY ACCEPTABLE SOIL DENSITY, AND REPETITION OF THE SEQUENCE. THE ACCEPTABLE MOISTURE CONTENTS DURING THE FILLING OPERATION ARE THOSE AT WHICH SATISFACTORY DRY DENSITIES CAN BE OBTAINED. THE ACCEPTABLE MOISTURE CONTENTS DURING THE FILLING OPERATION IN THE REMAINING AREAS ARE FROM 2% BELOW TO 6% ABOVE THE OPTIMUM MOISTURE CONTENT.
71. THE SURFACE OF THE FILL SHALL BE FINISHED SO THAT IT WILL NOT IMPOUND WATER. IF AT THE END OF A DAYS WORK IT WOULD APPEAR THAT THERE MAY BE RAIN PRIOR TO THE NEXT WORKING DAY, THE SURFACE SHALL BE FINISHED SMOOTH. IF THE SURFACE HAS BEEN FINISHED SMOOTH FOR ANY REASON, IT SHALL BE SCARIFIED BEFORE PROCEEDING WITH THE PLACEMENT OF SUCCEEDING LIFTS. FILL SHALL NOT BE PLACED ON FROZEN GROUND.
72. ALL LOW PLACES WHETHER ON SITE OR OFF SITE SHOULD BE GRADED TO ALLOW DRAINAGE. THIS MAY BE ACCOMPLISHED WITH TEMPORARY DITCHES. ANY OFF SITE DRAINAGE EASEMENTS SHALL BE ACQUIRED BEFORE OFF SITE GRADING IS TO BEGIN.
73. ALL EXCAVATIONS, GRADING OR FILLING SHALL HAVE A FINISHED GRADE NOT TO EXCEED A 3:1 SLOPE (33%).
74. ANY WELLS AND/OR SPRINGS WHICH MAY EXIST ON THIS PROPERTY SHOULD BE LOCATED AND SEALED IN A MANNER ACCEPTABLE WITH THE CITY OF DARDENNE PRAIRIE, ST. CHARLES COUNTY HIGHWAY DEPARTMENT.
75. ALL FILLED PLACES UNDER PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS INCLUDING TRENCH BACKFILLS WITHIN AND OFF THE ROAD RIGHT-OF-WAY SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST" (ASTM D-1557) OR 95% OF MAXIMUM DENSITY AS DETERMINED BY THE "STANDARD PROCTOR TEST AASHTO T-99". ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
76. ALL FILL PLACED IN PROPOSED AND EXISTING ROADS (HIGHWAYS) SHALL BE COMPACTED FROM THE BOTTOM OF THE FILL UP TO 90% MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST" (ASTM D-1557) OR 95% OF MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST AASHTO T-99. ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.
77. SOFT SOILS IN THE BOTTOM AND BANKS OF ANY EXISTING OR FORMER POND SITES OR TRIBUTARIES OR ANY SEDIMENT BASINS OR TRAPS SHOULD BE REMOVED, SPREAD OUT AND PERMITTED TO DRY SUFFICIENTLY TO BE USED AS FILL. NONE OF THIS MATERIAL SHOULD BE PLACED IN PROPOSED PUBLIC RIGHT-OF-WAY LOCATIONS OR ON ANY STORM SEWER LOCATION.
78. TEMPORARY SILTATION CONTROL MEASURES (STRUCTURAL) SHALL BE MAINTAINED UNTIL VEGETATIVE COVER IS ESTABLISHED AT A SUFFICIENT DENSITY TO PROVIDE EROSION CONTROL ON THE SITE.
79. IF STRAW BALES OR SILT FENCES ARE DESTROYED BY HEAVY RAINS, VANDALISM, ETC., THEY ARE TO BE REPAIRED AND OR REPLACED IMMEDIATELY.
80. WHEN GRADING OPERATIONS ARE COMPLETED OR SUSPENDED FOR MORE THAN THIRTY (30) DAYS, PERMANENT GRASS MUST BE ESTABLISHED AT SUFFICIENT DENSITY (AT LEAST SEVENTY-FIVE (75) PERCENT VEGETATIVE COVER) TO PROVIDE EROSION CONTROL ON THE SITE. BETWEEN PERMANENT GRASS SEEDING PERIODS, TEMPORARY COVER SHALL BE PROVIDED ACCORDING TO THE CITY ENGINEER'S RECOMMENDATION. REFER TO THE CITY OF DARDENNE PRAIRIE'S GRADING REQUIREMENTS.
81. ALL EXISTING SITE IMPROVEMENTS DISTURBED, DAMAGED OR DESTROYED SHALL BE REPAIRED OR REPLACED TO THEIR ORIGINAL CONDITION.
82. ALL TRASH AND DEBRIS ON-SITE, EITHER EXISTING OR FROM CONSTRUCTION, MUST BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE.
83. DEBRIS AND FOUNDATION MATERIAL FROM ANY EXISTING ON-SITE BUILDING OR STRUCTURE WHICH IS SCHEDULED TO BE RAZED FOR THIS DEVELOPMENT MUST BE DISPOSED OF OFF-SITE.
84. THE TOTAL YARDAGE OF THIS PROJECT IS BASED ON A 15 % SHRINKAGE FACTOR.
85. THE SHRINKAGE FACTOR IS SUBJECT TO CHANGE, DUE TO SOIL CONDITIONS (TYPES AND MOISTURE CONTENT), WEATHER CONDITIONS, AND THE PERCENTAGE OF COMPACTION ACTUALLY ACHIEVED AT THE TIME OF THE YEAR GRADING IS PERFORMED. AS A RESULT, ADJUSTMENTS IN FINAL GRADE MAY BE REQUIRED. IF ADJUSTMENTS NEED TO BE MADE, THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER AT ST. CHARLES ENGINEERING AND SURVEYING, INC. PRIOR TO COMPLETION OF THE GRADING.
86. THE VERTICAL GRADING TOLERANCE SHALL BE PLUS OR MINUS 0.2 FEET FOR ALL ROUGH GRADING.
87. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO CITY OF DARDENNE PRAIRIE STANDARDS AND SPECIFICATIONS.
88. THE CONTRACTOR SHALL PREVENT ALL STORMS/SURFACE WATER, MUD OR CONSTRUCTION DEBRIS FROM ENTERING THE EXISTING STORM SEWER SYSTEM.
89. UPON COMPLETION OF STORM SEWERS, SILTATION CONTROL SHALL BE PROVIDED AROUND ALL OPEN SEWER INLETS AND SHALL REMAIN UNTIL THE DISTURBED DRAINAGE AREAS HAVE BEEN PROPERLY STABILIZED.

SILT CONTROL:

GENERAL NOTES:

- 1. THE CONTRACTOR SHALL ASSUME COMPLETE RESPONSIBILITY FOR CONTROLLING ALL SILTATION AND EROSION OF THE PROJECT AREA.
2. THE CONTRACTOR SHALL USE WHATEVER MEANS NECESSARY TO CONTROL EROSION AND SILTATION INCLUDING, BUT NOT LIMITED TO, STAKED STRAW BALES AND/OR SILTATION FABRIC FENCES (POSSIBLE METHODS OF CONTROL ARE DETAILED IN THE PLANS).
3. EROSION CONTROL SHALL COMMENCE WITH GRADING AND BE MAINTAINED THROUGHOUT THE PROJECT UNTIL ACCEPTANCE OF THE WORK BY THE OWNER AND/OR THE CITY OF DARDENNE PRAIRIE.
4. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL DESIGN AND IMPLEMENTATION AS REQUIRED TO PREVENT EROSION AND THE DEPOSITING OF SILT.
5. THE OWNER AND/OR THE CITY OF DARDENNE PRAIRIE MAY, AT THEIR OPTION, DIRECT THE CONTRACTOR IN HIS METHODS AS DEEMED FIT TO PROTECT PROPERTY AND IMPROVEMENTS.
6. ANY DEPOSITING OF SILTS OR MUD ONTO NEW OR EXISTING PAVEMENT OR IN NEW OR EXISTING STORM SEWERS OR SWALES SHALL BE REMOVED AFTER EACH RAIN AND AFFECTED AREAS CLEANED TO THE SATISFACTION OF THE OWNER AND/OR THE CITY OF DARDENNE PRAIRIE.
7. INSTALLATION OF ALL PERIMETER SEDIMENT CONTROL SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN (7) DAYS OF GRUBBING THE SITE.
8. INSPECTION OF THE SILTATION CONTROL DEVICES SHALL TAKE PLACE EVERY SEVEN DAYS AND WITHIN 24 HOURS OF ANY ONE-HALF (6) INCH PER 24 HOUR RAIN EVENT.
9. ANY SILTATION CONTROL IN NEED OF REPAIR SHALL OCCUR IMMEDIATELY.
10. ALL SLOPES OF DRAINAGE CHANNELS, ONCE CONSTRUCTED TO FINAL GRADE, SHALL BE SEEDED AND MULCHED PER SPECIFICATIONS WITHIN SEVEN (7) DAYS.
11. SILT FENCES SHALL BE INSTALLED IMMEDIATELY AROUND EACH STORM SEWER STRUCTURE ONCE FINAL CONSTRUCTION OF EACH INDIVIDUAL STRUCTURE IS COMPLETE.
12. ALL SILTATION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL UPOLE AREAS HAVE BEEN PERMANENTLY STABILIZED.

SCHEDULE IMPLEMENTATION:

- 1. PERIMETER SILTATION CONTROL AND CONSTRUCTION ENTRANCES TO BE INSTALLED.
2. BEGIN PLACING AGGREGATE BASE IN PROPOSED PAVED AREAS ONCE AREA HAS REACHED FINAL GRADE TO PREVENT EROSION.
3. PLACE SILT FENCE AROUND EACH STORM SEWER STRUCTURE AS IT IS COMPLETED.
4. IMMEDIATELY SEED AREAS THAT ARE TO BE PERMANENTLY SEEDED UPON REACHING FINAL GRADE.

SILTATION CONTROL DEVICE MAINTENANCE:

- 1. SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
2. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RIMS AND UNDERCUTTING BENEATH BALES.
3. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.
4. SEDIMENTS DEPOSIT SHOULD BE REMOVED AFTER EACH RAINFALL. SEDIMENT DEPOSIT SHALL BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE- HALF THE HEIGHT OF BARRIER.
5. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

SILT FENCE SPECIFICATIONS:

- 1. SILT FENCE TO BE WOVEN GEOTEXTILE FABRIC MIRAIF 100X OR EQUAL.
2. FABRIC TO BE SUPPORTED BY METAL TEE POST WITH SPADE BASE ON 5' CENTERS WITH W6 X W6 / 10x10 GAGE WELDED WIRE FENCE.
3. FABRIC SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED A MINIMUM OF 4 INCHES DEEP FOR THE LENGTH OF THE FENCE.
4. THE EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE FENCE.
5. FENCE HEIGHT SHALL BE A MINIMUM OF 4 FEET IN HEIGHT, WITH THE FABRIC INSTALLED ON THE UPSTREAM SIDE.
6. SILT FENCES SHALL BE USED ONLY ON SHEET FLOW CONDITIONS (NOT CONCENTRATED FLOW CONDITIONS).
7. SILT FENCES SHALL BE INSTALLED AROUND ALL STORM SEWER STRUCTURES INFLOW AREAS.

EARTHWORK QUANTITY ESTIMATE:

CUT TO FINISHED GRADE: +XXXX CUBIC YARDS
FILL TO FINISHED GRADE: -XXXX CUBIC YARDS (W/15% FILL FACTOR PER SOILS REPORT)
NET TO FINISHED GRADE: -XXXX CUBIC YARDS (SHORT)

PAVEMENT SUBGRADE: XXXX SF x 11" / 27 = XXXX CY
BUILDING SUBGRADE: XXXX SF x 8" / 27 = XXXX CY
NET TO SUBGRADE: XXXX CY

TOTAL: -XXXXX + XXXX = -XXXXX CY (SHORT)

THE ABOVE CALCULATED QUANTITIES OF EARTHWORK ARE BE REGARDED AS AN ESTIMATE OF THE BULK MOVEMENT OR REDISTRIBUTION OF SOILS ON THE SITE AND SHOULD BE CONSIDERED AS SUCH. THESE QUANTITIES ARE INTENDED FOR GENERAL USE, AND THE ENGINEER ASSUMES NO LIABILITY FOR COST OVERRIDES DUE TO EXCESS EXCAVATED MATERIALS, SHORTAGES OF FILL, REMOVAL OF UNSUITABLE MATERIALS OFFSITE. IT IS THE GRADING CONTRACTOR'S RESPONSIBILITY TO PREPARE A QUANTITY TAKEOFF AND NOTE ANY DISCREPANCIES TO THE ENGINEER.

THE QUANTITIES ESTIMATED FOR EACH OF THE IMPROVEMENT ITEMS LISTED ABOVE ARE BASED UPON THE HORIZONTAL AND VERTICAL LOCATION OF THE IMPROVEMENTS AS PROPOSED ON THE SITE ENGINEERING PLANS PREPARED BY ST. CHARLES ENGINEERING & SURVEYING, INC.

THE ENGINEER'S EARTHWORK ESTIMATE DOES NOT INCLUDE ANY OF THE FOLLOWING ITEMS REQUIRING EARTHWORK THAT MAY BE NECESSARY FOR COMPLETION OF THE PROJECT: MISCELLANEOUS UNDERGROUND CONDUITS, INCLUDING SEWER LINES AND WATER MAINS; SEWER STRUCTURES; PROCESS OR TRANSFER PIPING; ELECTRICAL OR TELEPHONE CONDUITS; BASES FOR LIGHT STANDARDS OR OTHER STRUCTURES; BUILDING FOOTINGS AND FOUNDATIONS; ETC.

THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACTUAL SIZE OF THE FIELD EXCAVATIONS MADE FOR THE INSTALLATION OF UNDERGROUND STRUCTURES, AND AS SUCH, THE ACTUAL QUANTITIES OF EARTHWORK FROM SUCH ITEMS MAY VARY FROM THE ESTIMATE SHOWN ABOVE.

CITY OF DARDENNE PRAIRIE GRADING NOTES:

- 1. CONSTRUCTION ACCESS TO SITE SHALL CONSIST OF A MINIMUM 25' x 50' TEMPORARY GRAVEL WASH DOWN AREA, LOCATED ADJACENT TO PAVEMENT. ALL TRUCKS SHALL BE WASHED DOWN PRIOR TO LEAVING SITE.
2. ALL SOFT SOILS SHOULD BE REMOVED, DOWN TO FIRM MATERIAL, PRIOR TO THE PLACEMENT OF FILL MATERIAL. THE SOFT SOILS MAY BE UTILIZED AS FILL, PROVIDED THAT THE MATERIAL IS SPREAD OUT TO DRY SUFFICIENTLY AND CAN BE COMPACTED TO THE REQUIREMENTS OF THE PROJECT SPECIFICATIONS.
3. NO SLOPE SHALL BE STEEPER THAN 3(HORIZONTAL) : 1(VERTICAL). ALL SLOPES SHALL BE SODDED OR SEEDED AND MULCHED.
4. CITY SHALL BE PROVIDED WITH A COPY OF GRADING COMPACTION TESTS RESULTS. IN AREAS OF PROPOSED PAVEMENT, A MINIMUM COMPACTION TO AT LEAST 90% OF MAXIMUM DRY DENSITY, AS DETERMINED BY THE MODIFIED PROCTOR TEST, OR 95% OF MAXIMUM DRY DENSITY, AS DETERMINED BY THE STANDARD PROCTOR TEST WILL BE REQUIRED, OR AS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL SOILS REPORT.
5. ANY TRASH, DEBRIS, PAVEMENT OR FOUNDATION MATERIALS FROM ANY EXISTING OR PREVIOUS ON-SITE BUILDING, STRUCTURE, OR IMPROVEMENT MUST BE REMOVED FOR PROPER DISPOSAL OFF SITE, OR AS RECOMMENDED BY THE OWNERS LICENSED PROFESSIONAL ENGINEER.
6. ANY WELLS OR SPRINGS WHICH MAY EXIST ON THE PROPERTY SHOULD BE LOCATED. WELLS SHALL BE CAPPED AND SEALED IN ACCORDANCE WITH THE REQUIRMENTS OF THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, AND IN A MANNER ACCEPTABLE TO THE CITY OF DARDENNE PRAIRIE. SPRINGS SHALL BE HANDLED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE OWNERS LICENSED PROFESSIONAL ENGINEER.
7. ANY CONTAMINATED SOILS ENCOUNTERED DURING GRADING OPERATIONS SHALL BE HANDLED IN ACCORDANCE WITH THE OWNERS LICENSED PROFESSIONAL ENVIRONMENTAL ENGINEERING REPRESENTATIVE.
8. WHEN GRADING OPERATIONS ARE COMPLETED OR SUSPENDED FOR MORE THAN 30 DAYS, PERMANENT GRASS MUST BE ESTABLISHED AT SUFFICIENT DENSITY TO PROVIDE EROSION CONTROL ON THE SITE. BETWEEN PERMANENT GRASS SEEDING PERIODS, TEMPORARY COVER SHALL BE PROVIDED ACCORDING TO THE RECOMMENDATION OF THE DIRECTOR OF THE DIVISION OF DEVELOPMENT REVIEW.
9. ALL FINISHED GRADES (AREAS NOT TO BE DISTURBED BY FUTURE IMPROVEMENT) IN EXCESS OF 20% SLOPES (5:1) SHALL BE MULCHED AND TACKED AT THE RATE OF 100 POUNDS PER 1,000 SQUARE FEET WHEN SEEDED.
10. EROSION CONTROL SHALL NOT BE LIMITED TO WHAT IS SHOWN ON THE PLANS. THE CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO PREVENT SILTATION FROM ENTERING ADJACENT ROADWAYS, PROPERTIES, DITCHES AND SILTING UP ALL STORM DRAINAGE SYSTEMS ON SITE AND IN RECEIVING CHANNELS. SUCH CONTROL MIGHT INCLUDE CHANNELING RUNOFF INTO SEDIMENT BASINS OR CHANNELING RUNOFF INTO AREA WHERE AN EXTRA ROW OF SILT FENCE IS USED, IF NECESSARY.



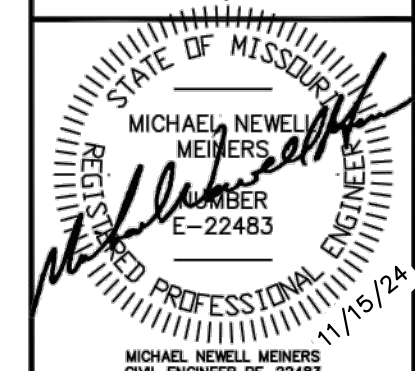
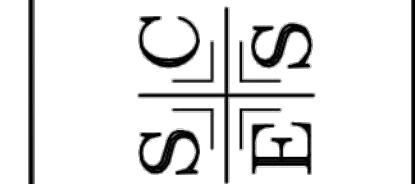
UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING AND/OR CONSTRUCTION OF IMPROVEMENTS.

FINAL PLAN SUBMITTAL

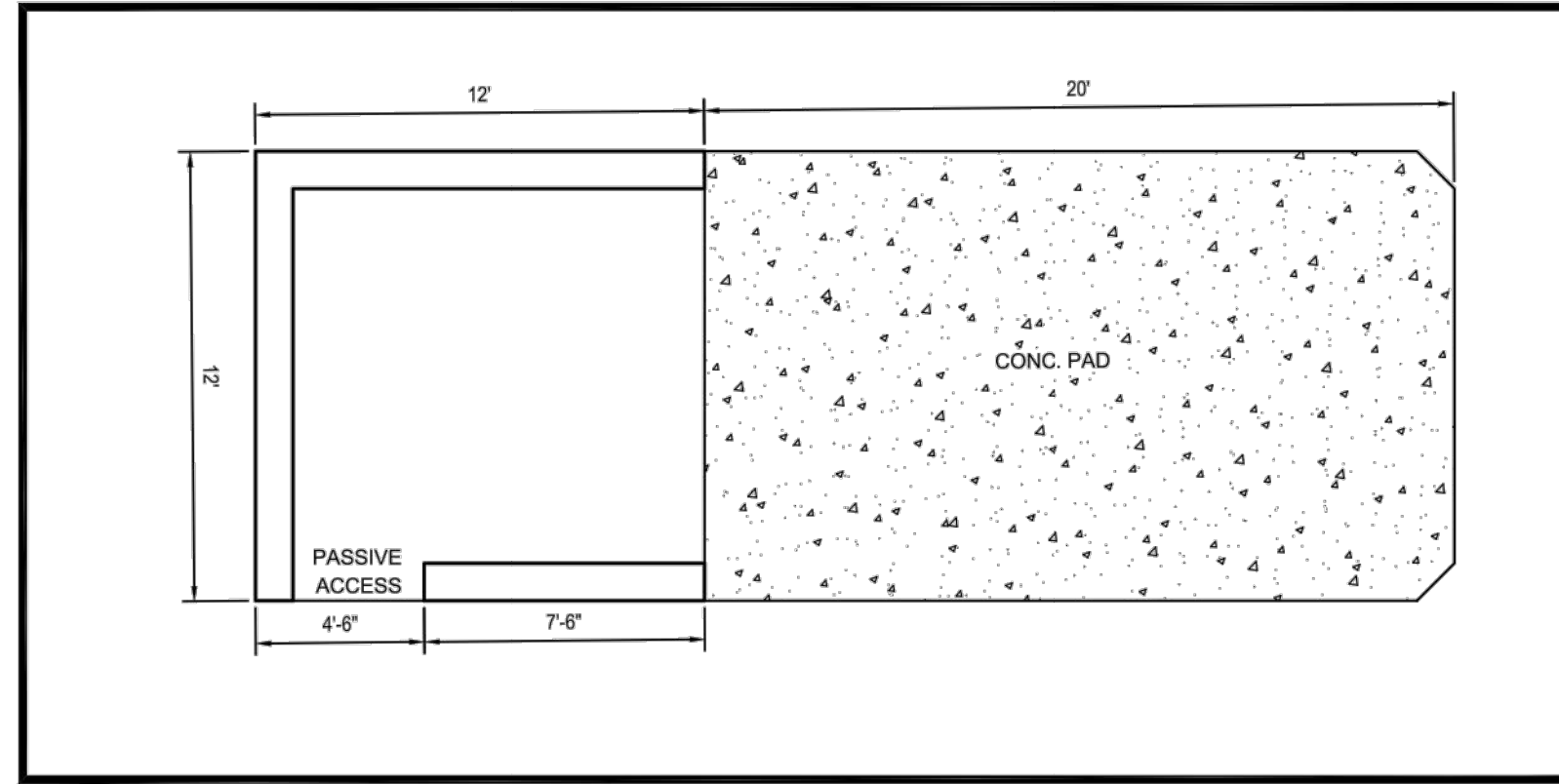
09-20-2022

AMENDED FINAL PLAN for CONDOS AT TOWN CENTER NOTES

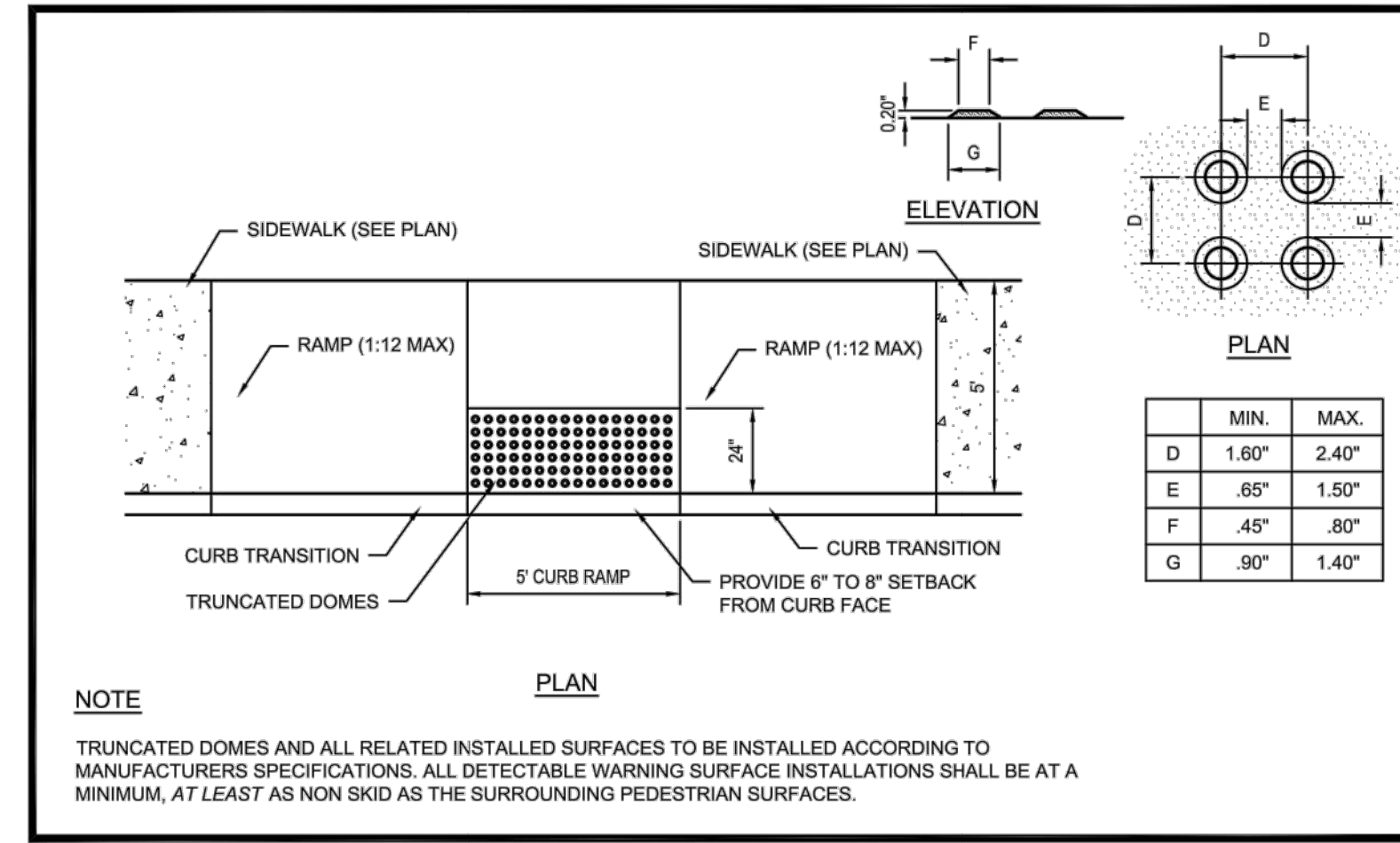
ST. CHARLES ENGINEERING & SURVEYING, INC. 801 S. FIFTH STREET, SUITE 202 ST. CHARLES, MO. 63301 TEL: (636) 947-0607 FAX: (636) 947-2448



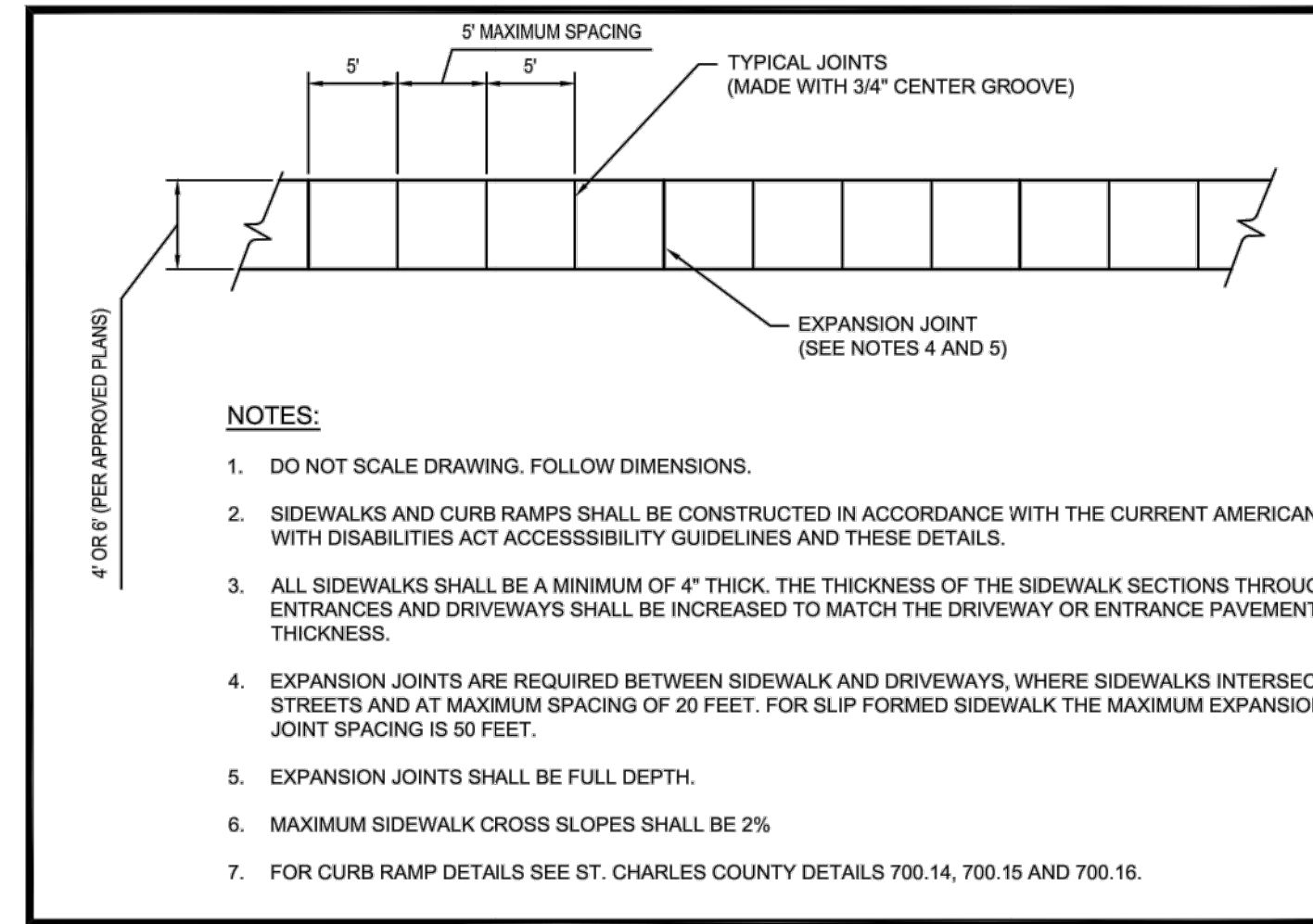
ORDER NO. 2022067 DATE 11/15/2024 C4.2



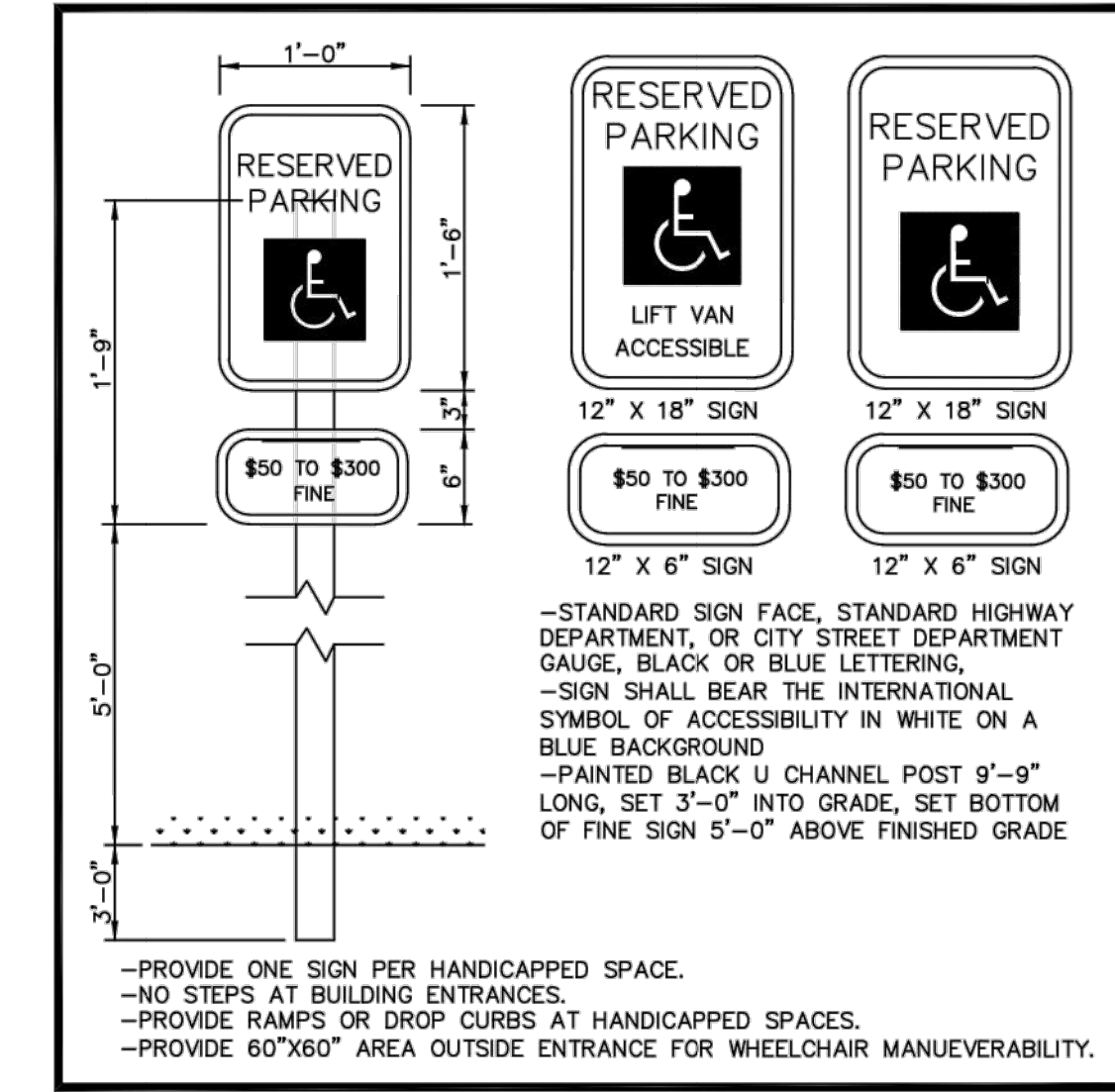
TRASH ENCLOSURE DETAIL
N.T.S.



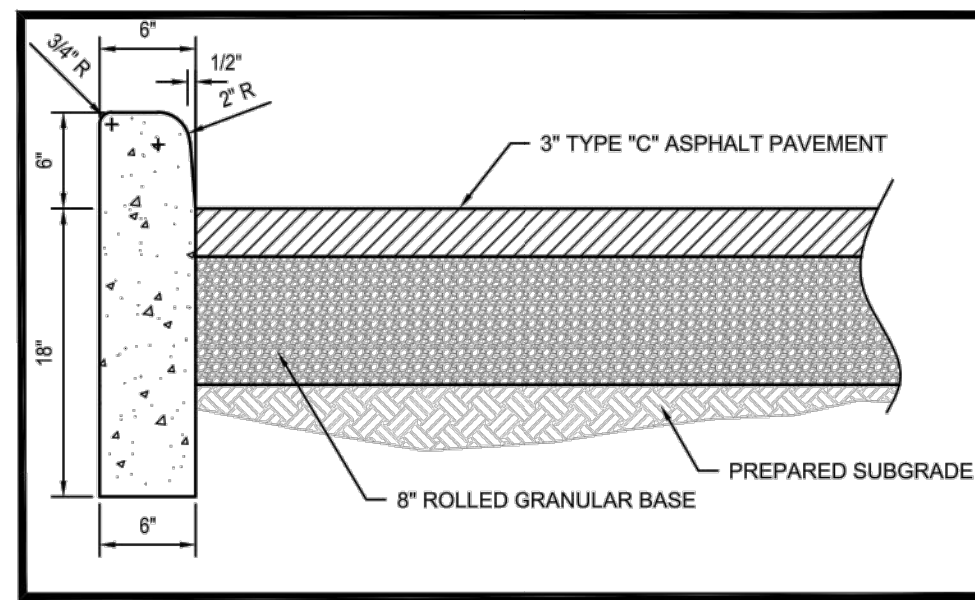
SIDEWALK HANDICAP CURB RAMP DETAIL
N.T.S.



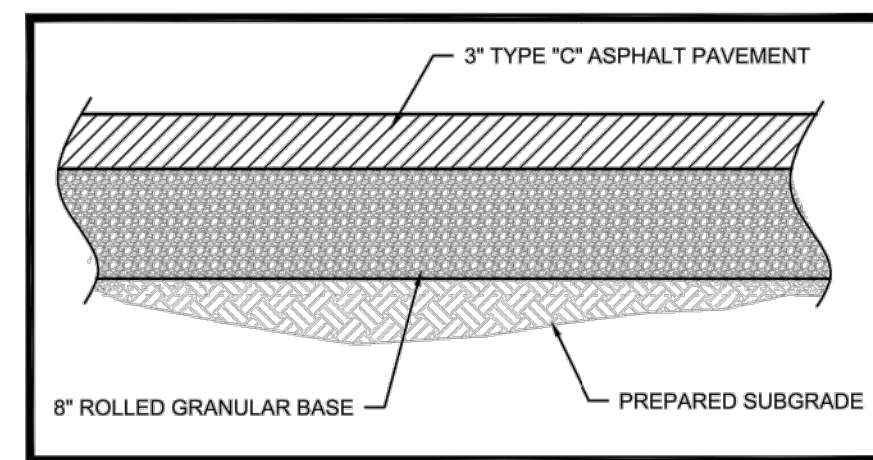
SIDEWALK DETAIL
N.T.S.



HANDICAP PARKING SIGN DETAIL
N.T.S.



ASPHALT PAVEMENT SECTION
W/ TYPE "S" CONCRETE CURB
N.T.S.



ASPHALT PAVEMENT SECTION (DRIVE AISLES)
N.T.S.

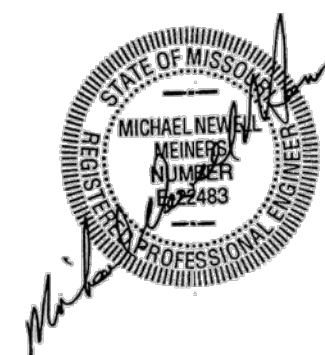
STORM WATER MANAGEMENT REPORT

Preliminary Storm Water Management Plan
CONDOS AT TOWN CENTER
7773 AND 7755 TOWN CENTER AVENUE
DARDENNE PRAIRIE, MISSOURI

July 25, 2022

AZACK CONSTRUCTION
11607 FRANCETTA LANCE
ST. LOUIS, MISSOURI 63138

Reference Numbers:
SCES: 2022067



Prepared by:
Michael N. Meiners, P.E.

801 South Fifth Street, Suite 202 # St. Charles, Missouri 63301
Telephone 636.947.0607 # Fax 636.947.2448

Table of Contents

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EXISTING UTILITIES Page 1
PROPOSED CONDITIONS Page 2
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WATER QUALITY Page 3

APPENDIX A – Exhibits

1. Existing Conditions Sheet (SEE SHEET C2.1)
2. Site Grading Plan (SEE SHEET C4.1)

INTRODUCTION

The proposed Condos at Town Center is located on a 6.66-acre parcel of land at 7773 and 7755 Town Center Avenue in the City of Dardenne Prairie. A Boundary Adjustment Plat for 7755 Town Center Avenue will be Boundary Adjusted to create a total site acreage of 6.66 acres. The site currently has no buildings and is currently zoned ND New Development District. The proposed rezoning is to C-2 PUD Planned Unit Development proposing three lots containing two 24-unit condominium buildings one for a total of 48 units and a 5,000 square foot commercial/retail building. Each building will be on a separate lot.

The storm water management for the development will be within two dry basins located within the 6.66 acres with one on the west side of the jurisdictional channel and the second on the east side of the jurisdictional channel. Storm water BMPs will be designed and constructed for water quality treatment and flood protection. BMP design will be per City of Dardenne Prairie Standards and Specifications.

EXISTING CONDITIONS

The attached topographic survey shows the jurisdictional channel crosses diagonally through the 6.66 acres that drains to a 10' wide x 4' high concrete box culvert at the southeast corner of the site which drains under Town Center Avenue. The site development will construct a separate box culvert in the jurisdictional channel within the 6.66 acres for a two-way drive lane crossing the channel connecting the west and east site acreage.

The existing site is almost entirely wooded with no buildings or paving. Utilities border the site along Town Center Avenue and the adjacent Kinetic Park Entrance to the west. As mentioned above the existing site drainage all drains to the box culvert at the southeast corner of the site.

According to the NRCS Soils Report the site soils are classified as Auxvasse Silt Loam and Armster Silt Loam which has a hydrologic soil group of B/C. The following table summarizes the existing conditions of the site.

EXISTING SITE CHARACTERISTICS				
SITE DESCRIPTION	AREA (AC)	IMP (%)	PI (15YR-20MIN)	RUNOFF (CFS)
PARTIALLY DEVELOPED	6.66	0	1.7	11.32

EXISTING UTILITIES

All underground utilities have been plotted from available information and their locations should be considered approximate only. Utilities have been marked in the field by the respective utility companies or their contracted locators and have been located by site surveyors. Other utility information has been obtained from available maps and depicted on the plans as accurately as possible. The verification of the location of all underground utilities, either shown or not shown on the plans, shall be the responsibility of the contractor, and shall be located prior to any grading and/or construction of improvements.

A water line is located along Town Center Avenue that enter the site from the west and crosses under the creek channel. The water main then crosses Town Center Avenue and continues to the east along Town Center Avenue. Sanitary sewers are located to the west along the Kinetic Park Entrance across Town Center Avenue at the southeast corner of the site. Overhead electric, gas, and communications lines are on the south side of the site along Town Center Avenue.

PROPOSED CONDITIONS

The proposed development will create three lots with two lots having 24-unit condominium buildings and the third lot will have 5,000 square feet of commercial/retail space. The land development will include clearing of trees, grading, utility construction, paving of parking areas and drive, sidewalks, and building construction. The grading will include creating two dry storm water basins which will provide water quality and flood protection. The jurisdictional channel on-site will have one road crossing over a box culvert and the remainder of the creek channel will not be disturbed other than two storm sewers discharging into the channel from the detention basin.

FLOOD PROTECTION

The proposed development will increase the site imperviousness to 44.9 percent and the 15-year, 20-minute storm calculations are as follows:

PROPOSED SITE 15-YEAR, 20 MINUTE STORM				
SITE DESCRIPTION	AREA (AC)	IMP (%)	PI (15YR-20MIN)	RUNOFF (CFS)
Total Site	6.66	44.9	2.48	16.52

Compared to the existing conditions the 15-year, 20-minute storm increase for the entire site is 11.32 cfs - 16.52 cfs = 5.20 cfs. Storm water detention will be required as the increase is more than 2 cfs.

The two (2) storm water basins with BMP(s) will be constructed on each side of the jurisdictional channel to provide water quality and flood protection. Water quality requirements will be based upon the proposed limits of disturbance (LOD) and the flood protection requirement shall be per the increased impervious area designed per City of Dardenne Prairie standards and specifications. Both of the basins will drain to the jurisdictional channel at the southwest corner of the site where the existing and proposed drainage for the 6.66 acres leaves the site in the existing box culvert.

The site is less than 10 acres and as a result the rational method will be used to calculate the storm water detention for the 2-year, 20-minute storm and the 25-year, 20-minute storm. The volume of the basin will be as per required to provide the 25-year, 20-minute storm detention. The following table summarizes the proposed conditions of the site and the allowable release rate.

PROPOSED SITE ALLOWABLE RELEASE AND DETAINED DIFFERENTIAL PER STORM						
DESIGN STORM	AREA (AC)	EXISTING PI	ALLOWABLE DISCHARGE	PROPOSED PI 45%	PROPOSED DISCHARGE	DETAINED DIFFERENTIAL
2-YEAR, 20-MINUTE	6.66	1.15	7.66	1.07	11.12	3.46
25-YEAR, 20-MINUTE	6.66	1.84	12.25	2.68	17.85	5.60

The two (2) proposed storm water BMP(s) will have drainage catchments that will reduce the flow to the allowable release. The basin will have to retain the differential runoff for the 20-minute storm. The volume of detention in the two basins will be based on the retained storm water for the 25-year, 20-minute storm. The basin routing will determine the actual size of each basin. The total estimated volume of detention is as follows:

$Q_{25} = 5.6$ cfs, Total Detention Volume = 5.6 cfs X 60 second/minute x 20 minutes = 6,720 cubic feet

The outfall structure shall be designed to pass the 100-year, 20-minute storm for 45 percent impervious area, $PI = 3.35$, calculated as follows:

$$Q_{100} = 6.66 \text{ Ac} \times 3.35 = 22.31 \text{ cfs}$$

WATER QUALITY CALCULATIONS

Water quality for the proposed improvements associated with the Condos at Town Center development will be provided in two (2) bioretention impoundments proposed on the site. Details of the water quality shall be designed with the improvement plans. The total limits of disturbance for the site will be approximately 90 percent of the 6.66 acres which is 6 acres of disturbed area. Therefore, the overall site water quality volume requirement can be calculated as shown below.

$$WQV = (P)(I)(A)/(2.4) \\ P = 1.14, I = 0.05 + 0.009(I) = 0.05 + 0.009(44.9) = 0.4541, A = 6 \text{ ac} \\ WQV = (1.14)(0.4541)(6/2.4) = 0.258837 \text{ ac-ft} = 11,275 \text{ ft}^3$$

Based upon guidelines, bioretention for stormwater quality should provide a minimum storage of 75% of the water quality volume.

$$WQV(\text{req. storage}) = (75\%)(11,275 \text{ ft}^3) = 8,456 \text{ ft}^3$$

In addition to the required volume, the site filter bed area must also meet a surface area requirement as stated in Chapter 3 of the Maryland Stormwater manual. The basin will have 18 inches of water above the filter bed.

$$h_f = 18"/2 = 9" = 0.75 \text{ feet}$$

Per the manual, the bioretention shall have a required filter bed area per the following equation:

$$A_f = (WQV_{\text{req}})(d_f) / [(9)(h_f + d_f)(t_d)] \\ WQV = 11,275 \text{ ft}^3 \quad (\text{water quality volume}) \\ d_f = 2.5 \text{ ft} \quad (\text{filter bed depth}) \\ k = 2.0 \text{ ft/day} \quad (\text{coefficient of permeability of filter}) \\ h_f = 0.75 \text{ ft} \quad (\text{average height of water above filter bed}) \\ t_d = 2.0 \text{ days} \quad (\text{design filter bed drain time})$$

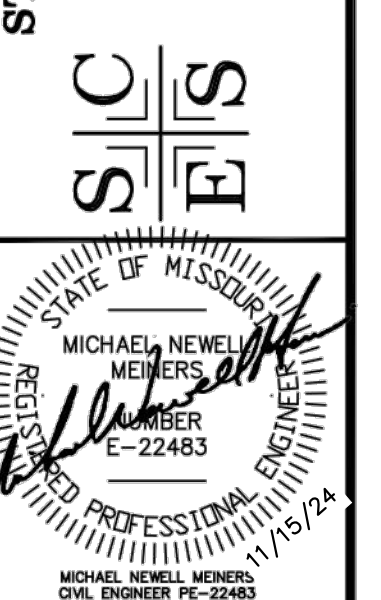
$$A_f = (11,275)(2.5) / [(2.0)(0.75 + 2.5)(2.0)] = 4,337 \text{ ft}^2$$

The two proposed basin will provide the required filter bed area. The filter bed media used within the bioretention basins for the BMPs shall have a void ratio of 40% plus the 18 inches of water above the filter bed will attain the required water quality volume within the two basins.

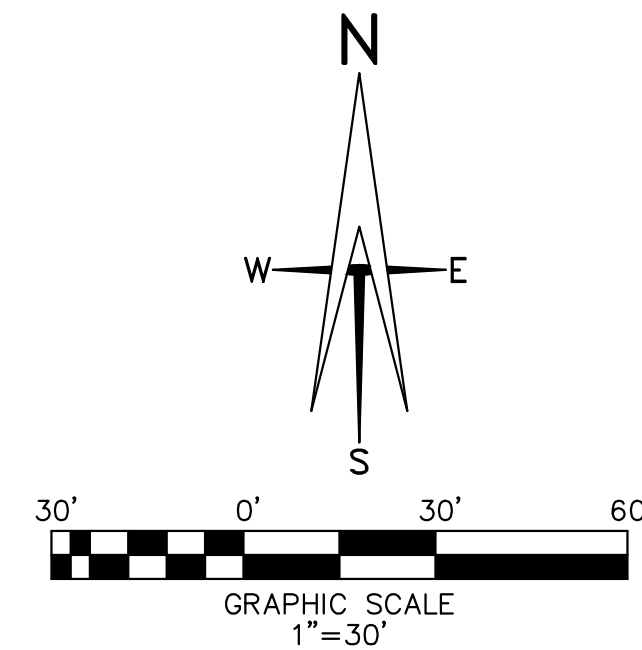
Water Quality Bioretention Design Requirements	Required	Provided
Calculated Total Water Quality Volume	11,275	8,500
Minimum Water Quality Storage, 75% of Total	8,456	8,500
Bioretention Surface Area	4,337	4,400

AMENDED FINAL PLAN for
CONDOS AT TOWN CENTER
DETAILS & STOREMATER REPORT

ST. CHARLES ENGINEERING & SURVEYING, INC.
801 S. FIFTH STREET, SUITE 202
ST. CHARLES, MO 63301
TEL: (636) 947-0607 FAX: (636) 947-2448

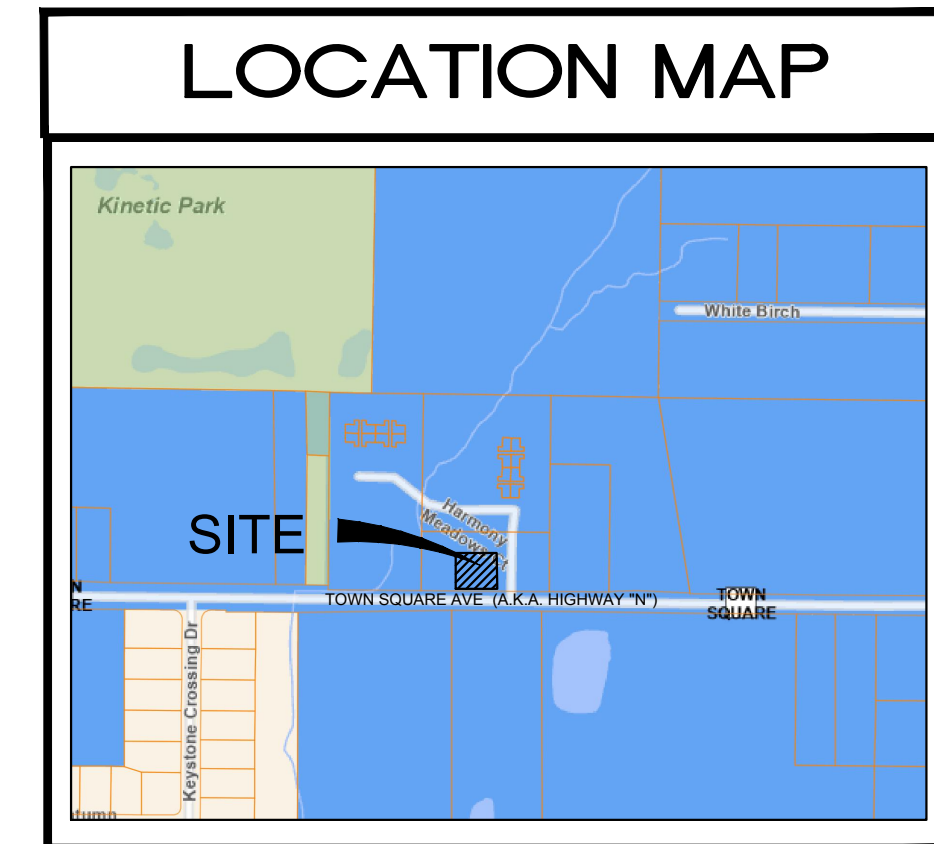


ORDER NO.
2022067
DATE
11/15/2024
C5.1



RESUBDIVISION OF LOT 3 OF THE CONDOS AT TOWN CENTER SUBDIVISION

RECORDED AS DOCUMENT NUMBER 2024R-026773
BEING A TRACT OF LAND IN PART OF SECTION 2,
TOWNSHIP 46 NORTH, RANGE 2 EAST
ST. CHARLES COUNTY, MISSOURI



GENERAL NOTES

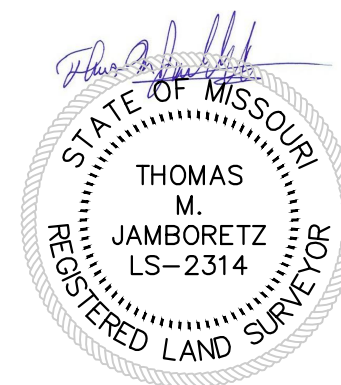
- PREPARED FOR: TOWNSQUARE COMMERCIAL LLC
385 JUANITA MCKEE DRIVE
MANCHESTER, MO 63011
- BASIS OF BEARINGS: MISSOURI STATE PLANE - EAST ZONE - GRID NORTH.
 - TOTAL AREA OF PLAT: 1.16 ACRES, MORE OR LESS.
 - SETBACKS: FRONT - 25'
SIDE - 20'
REAR - 25'
 - ST. CHARLES ENGINEERING & SURVEYING, INC. WAS NOT SUPPLIED A TITLE COMMITMENT AND TAKES NO RESPONSIBILITY FOR ANY EASEMENTS THAT A CURRENT TITLE POLICY MIGHT PROVIDE.
 - IRON REBARS WITH CAPS TO BE SET AS SHOWN WITHIN TWELVE MONTHS AFTER THE RECORDING OF THE RECORD PLAT PER MISSOURI SURVEY STANDARDS.
 - PROPERTY OWNERS: TOWNSQUARE COMMERCIAL LLC
385 JUANITA MCKEE DRIVE
MANCHESTER, MO 63011
 - ACCORDING TO FIRM FLOOD INSURANCE RATE MAP PANEL 29182C02220G K, DATED JANUARY 19, 2016, THIS PROPERTY LIES IN ZONE "X" AREA OF MINIMAL FLOOD HAZARD.
 - SITE BENCHMARK: ELEVATION 587.57' (MODOT VRS. N.A.V.D. - 88)
FOUND CROSS AT THE SOUTHWEST CORNER OF LOT A.
 - SITE IS ZONED: "C- NOT USED" IMPROVED COMMERCIAL
 - PROPOSED USE: COMMERCIAL CONDOMINIUMS.

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT ST. CHARLES ENGINEERING AND SURVEYING, INC., AT THE REQUEST AND FOR THE EXCLUSIVE USE OF 24CONDOSTL LLC, DURING THE MONTH OF OCTOBER 2023 EXECUTED A BOUNDARY SURVEY OF A TRACT OF LAND BEING LOT 3 OF THE CONDOS AT TOWN CENTER SUBDIVISION, DOCUMENT 2024R-026773, IN SECTION 2, TOWNSHIP 46 NORTH, RANGE 2 EAST ST. CHARLES COUNTY MISSOURI, AND DURING THE MONTH OF JANUARY, 2025, SUBDIVIDED AND PREPARED A RECORD PLAT. THIS SURVEY AND RECORD PLAT WAS PREPARED IN ACCORDANCE WITH CHAPTER 16 "MISSOURI STANDARDS FOR URBAN PROPERTY BOUNDARY SURVEYS (20 CSR 2030-16.010-16.110)."

THIS DRAWING HAS BEEN COMPILED WITHOUT THE BENEFIT OF A CURRENT CERTIFICATE OF TITLE EXAMINATION AND, THEREFORE, MAY NOT CONTAIN EASEMENTS, RESERVATIONS, EXCEPTIONS, RESTRICTIONS AND COVENANTS OF RECORD.

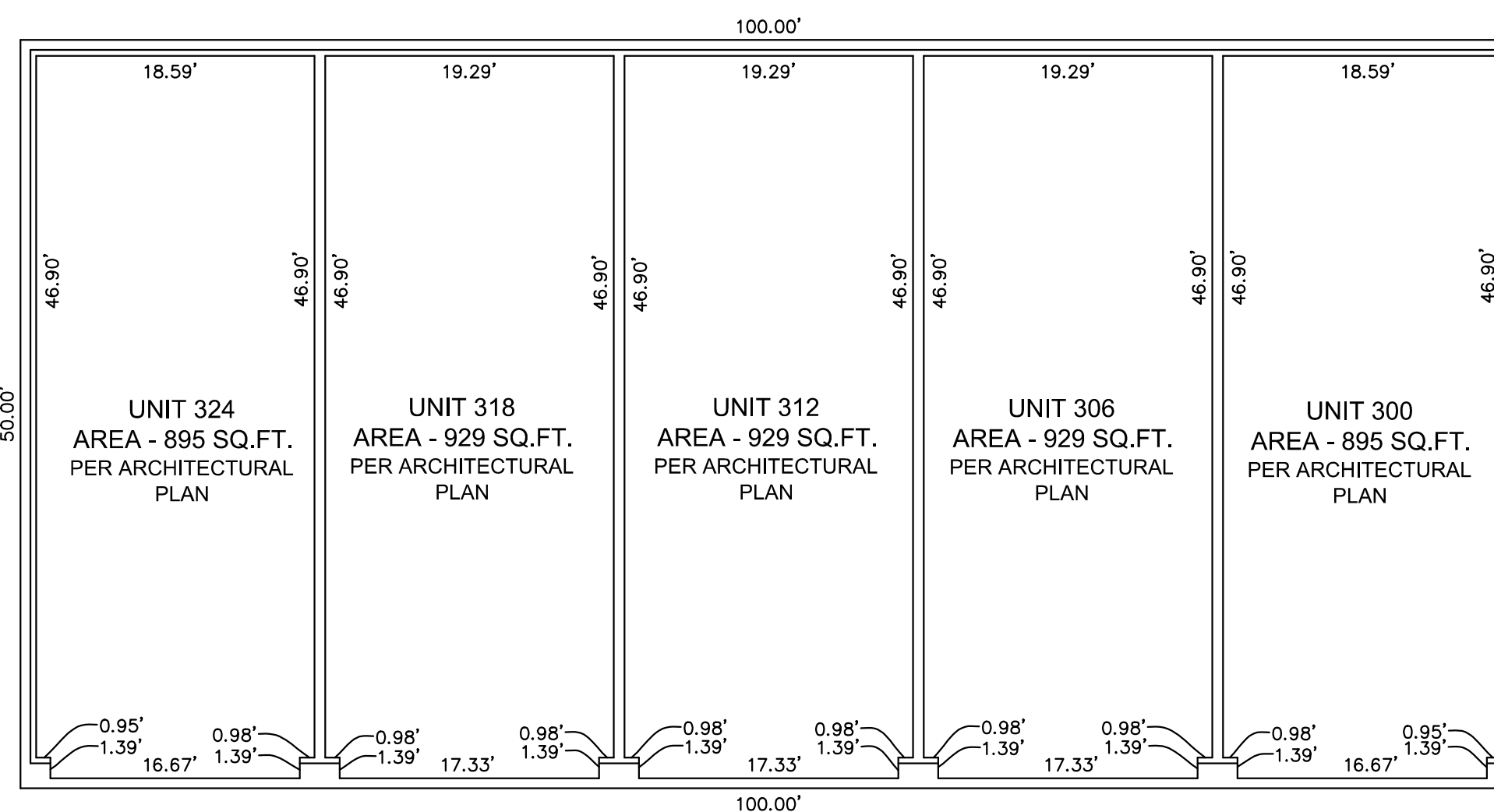
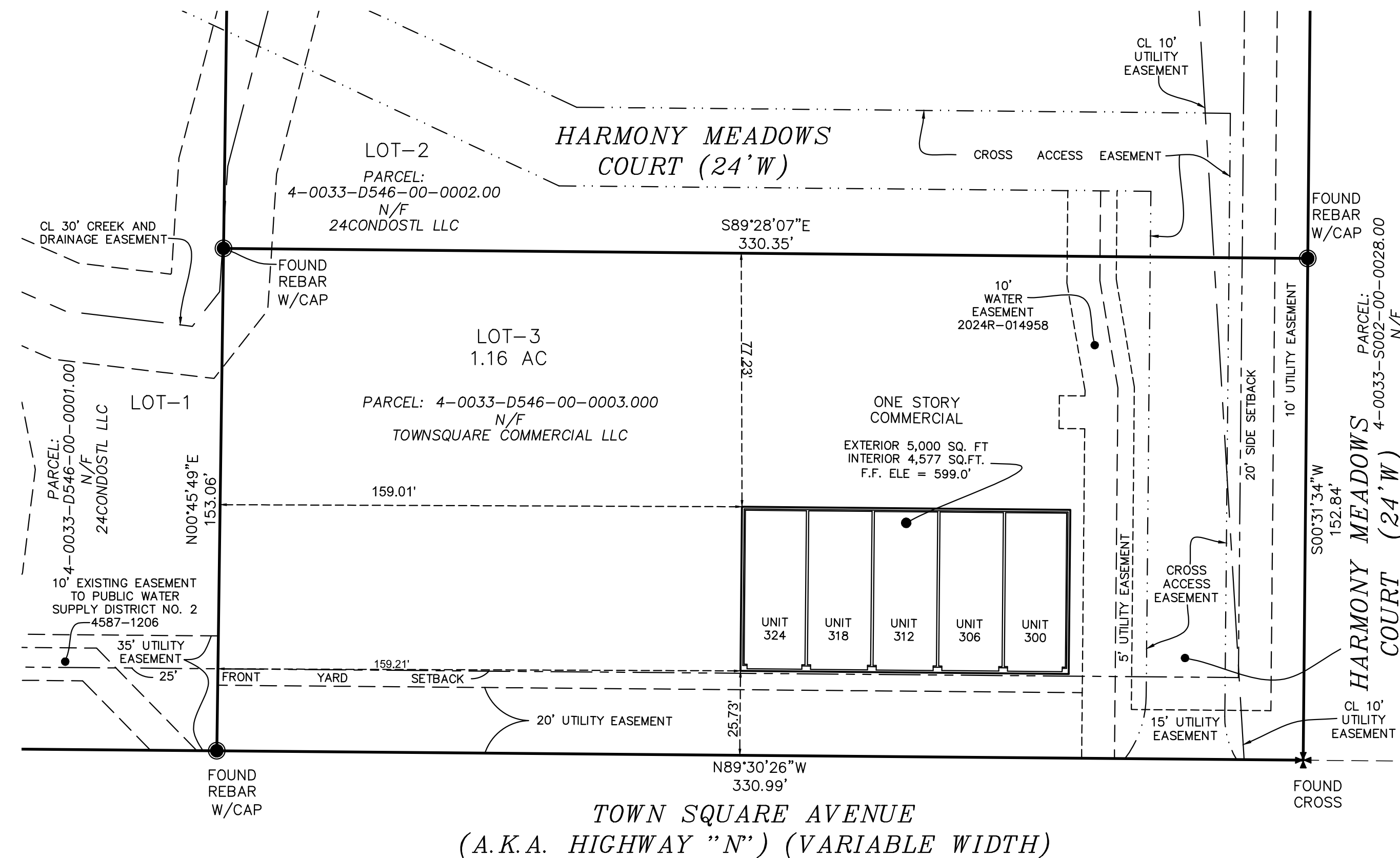
THOMAS M. JAMBORETZ
MO, P.L.S. #2314
DATE: 01/02/2025



CITY'S CERTIFICATE

THIS IS TO CERTIFY THAT THE PLAT "THE CONDOS AT TOWN CENTER SUBDIVISION" AS SHOWN HEREON HAS BEEN APPROVED BY THE CITY OF DARDENNE PRAIRIE, MISSOURI THIS _____ DAY OF _____ 2024.

CITY CLERK (PRINT) _____ CITY ENGINEER (PRINT) _____
(SIGNATURE) _____ (SIGNATURE) _____
MAYOR (PRINT) _____ PLANNING & ZONING CHAIRMAN (PRINT) _____
(SIGNATURE) _____ (SIGNATURE) _____



FLOOR ELEV: 599.0
CEILING ELEV: 608.3

OWNER'S CERTIFICATE

THE UNDERSIGNED OWNERS OF THE TRACT OF LAND HEREIN PLATTED AND FURTHER DESCRIBED IN THE FOREGOING SURVEYOR'S CERTIFICATE, HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED IN THE MANNER SHOWN ON THIS PLAT, WHICH SUBDIVISION PLAT SHALL HEREAFTER BE KNOWN AS "RESUBDIVISION OF LOT 3 OF THE CONDOS AT TOWN CENTER".

ALL UTILITY EASEMENTS SHOWN ON THIS PLAT, UNLESS OTHERWISE DESIGNATED FOR OTHER SPECIFIC PURPOSES, ARE HEREBY DEDICATED TO THE CITY OF DARDENNE PRAIRIE, MISSOURI, PUBLIC WATER SUPPLY DISTRICT #2, DUCKETT CREEK SANITARY DISTRICT, CUIVRE RIVER ELECTRIC COOPERATIVE INC., SPIRE, CENTURYLINK, THEIR SUCCESSORS AND ASSIGNS AS THEIR INTERESTS MAY APPEAR FOR THE PURPOSES OF IMPROVING, CONSTRUCTING, MAINTAINING AND REPAIRING PUBLIC UTILITIES, SEWERS, STORMWATER IMPROVEMENTS AND DRAINAGE FACILITIES, WITH THE RIGHT OF TEMPORARY USE OF ADJACENT GROUND NOT OCCUPIED BY IMPROVEMENTS FOR THE EXCAVATION AND STORAGE OF MATERIALS DURING INSTALLATION, REPAIR OR REPLACEMENT OF SAID UTILITIES, SEWERS, STORMWATER IMPROVEMENTS AND DRAINAGE FACILITIES.

THE CREEK AND DRAINAGE EASEMENT SHOWN HEREON IS TO THE CITY OF DARDENNE PRAIRIE FOR THE PURPOSE OF INSPECTING THE CHANNEL THAT SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

THE AREA OF LAND DESIGNATED AS CROSS EASEMENT IS NOT DEDICATED FOR USE BY THE GENERAL PUBLIC BUT IS HEREBY ESTABLISHED AND GRANTED TO THE CONDOS AT TOWN CENTER HOMEOWNERS ASSOCIATION FOR THE USE AND ENJOYMENT OF SAID ASSOCIATION, THEIR SUCCESSORS OR ASSIGNS AS MORE FULLY PROVIDED FOR IN THE CONDITIONS, RESERVATIONS, RESTRICTIONS AND PROTECTIVE COVENANTS OF THE CONDOS AT TOWN CENTER SET FORTH BELOW, SAID EASEMENT TO BE MAINTAINED BY SAID ASSOCIATION.

THE UNDERSIGNED DECLARES THAT THIS PLAT SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS OF THE CONDOS AT TOWN CENTER AS SET FORTH IN AN INSTRUMENT FILED IN BOOK _____ PAGE _____ IN THE ST. CHARLES COUNTY RECORDER OF DEEDS OFFICE.

BUILDING LINES SHOWN ON THIS PLAT ARE HEREBY ESTABLISHED.

IT IS HEREBY CERTIFIED THAT ALL EXISTING EASEMENTS ARE SHOWN ON THIS PLAT AS OF THE TIME AND DATE OF RECORDING THIS PLAT.

ALL TAXES WHICH ARE DUE AND PAYABLE AGAINST THIS PROPERTY HAVE BEEN PAID IN FULL.

IN WITNESS WHEREOF, THE UNDERSIGNED HAVE SET THEIR HANDS THIS ____ DAY OF _____ 2024.

TOWNSQUARE COMMERCIAL LLC BY _____
PRINT NAME: _____
TITLE: _____

OWNER' NOTARY

STATE OF MISSOURI)
COUNTY OF ST. LOUIS) SS

ON THIS ____ DAY OF _____ 2025, BEFORE ME APPEARED _____ TO ME PERSONALLY KNOWN, WHO, BEING BY ME DULY SWORN, DID SAY THAT HE IS _____ OF TOWNSQUARE COMMERCIAL LLC, THAT SAID INSTRUMENT WAS SIGNED AND SEALED IN BEHALF OF SAID LIMITED LIABILITY COMPANY BY AUTHORITY OF ITS MEMBERS, ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID LIMITED LIABILITY COMPANY. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED BY OFFICIAL SEAL IN THE COUNTY AND STATE AFORESAID, THE DAY AND YEAR FIRST ABOVE WRITTEN.

NOTARY PUBLIC: _____

PRINT NAME: _____

MY TERM EXPIRES: _____

LENDER'S CERTIFICATE

THE UNDERSIGNED HOLDER OR LEGAL OWNER OF NOTES SECURED BY A DEED OF TRUST RECORDED IN BOOK _____ PAGE _____ OF THE ST. CHARLES COUNTY RECORDS HEREBY JOINS IN AND APPROVES IN EVERY DETAIL, THIS PLAT OF "RESUBDIVISION OF LOT 3 OF THE CONDOS AT TOWN CENTER", IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS AND AFFIXED OUR CORPORATE SEAL THIS ____ DAY OF _____ 2025.

LENDOR _____ BY: _____

PRINT NAME: _____

TITLE: _____

LENDER'S NOTARY

STATE OF MISSOURI)
COUNTY OF ST. LOUIS) SS

ON THIS ____ DAY OF _____ 2025, BEFORE ME APPEARED _____ TO ME PERSONALLY KNOWN, WHO, BEING BY ME DULY SWORN, DID SAY THAT HE IS _____ OF _____ A MISSOURI CORPORATION, AND THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE CORPORATE SEAL OF SAID CORPORATION AND, THAT SAID INSTRUMENT WAS SIGNED AND SEALED IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS, AND SAID _____ ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID CORPORATION. IN TESTIMONY WHEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED BY OFFICIAL SEAL IN THE COUNTY AND STATE AFORESAID, THE DAY AND YEAR FIRST ABOVE WRITTEN.

NOTARY PUBLIC: _____

PRINT NAME: _____

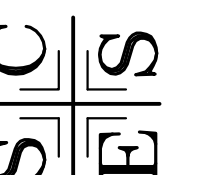
MY TERM EXPIRES: _____

TOWNSQUARE COMMERCIAL LLC
385 JUANITA MCKEE DRIVE
MANCHESTER, MO 63011

ST. CHARLES ENGINEERING & SURVEYING, INC.

801 S. FIFTH STREET, SUITE 202
ST. CHARLES, MO 63801
TEL: (636) 947-0607 FAX: (636) 947-2448

ST. CHARLES ENGINEERING AND SURVEYING, INC.
PROFESSIONAL ENGINEERING AND LAND SURVEYING CORPORATION
MISSOURI STATE CERTIFICATES OF AUTHORITY - 001647 & 000379



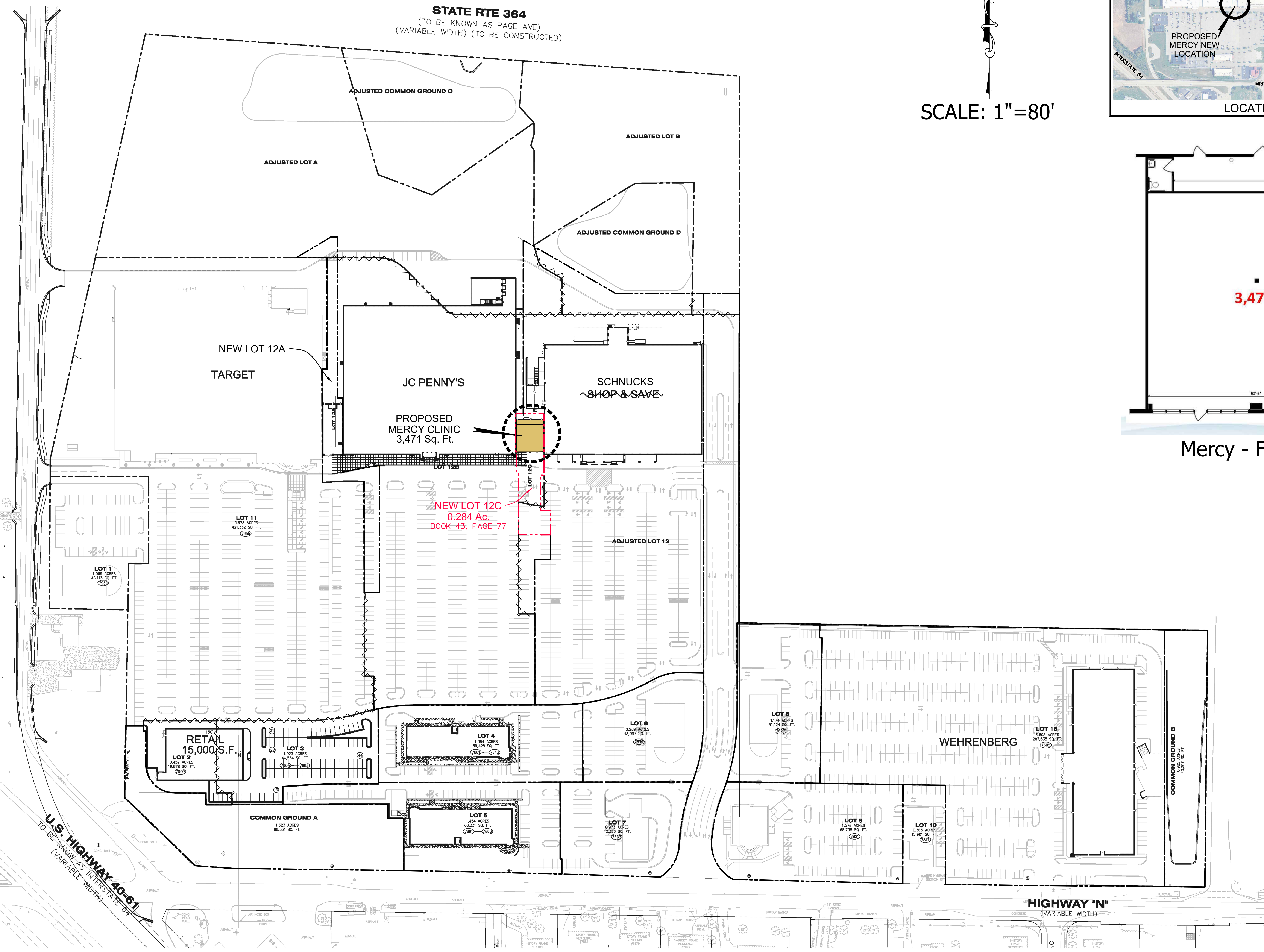
ORDER NO.
2022067
DATE
01/02/2025

AREA PLAN / FINAL PLAN DARDENNE TOWN SQUARE

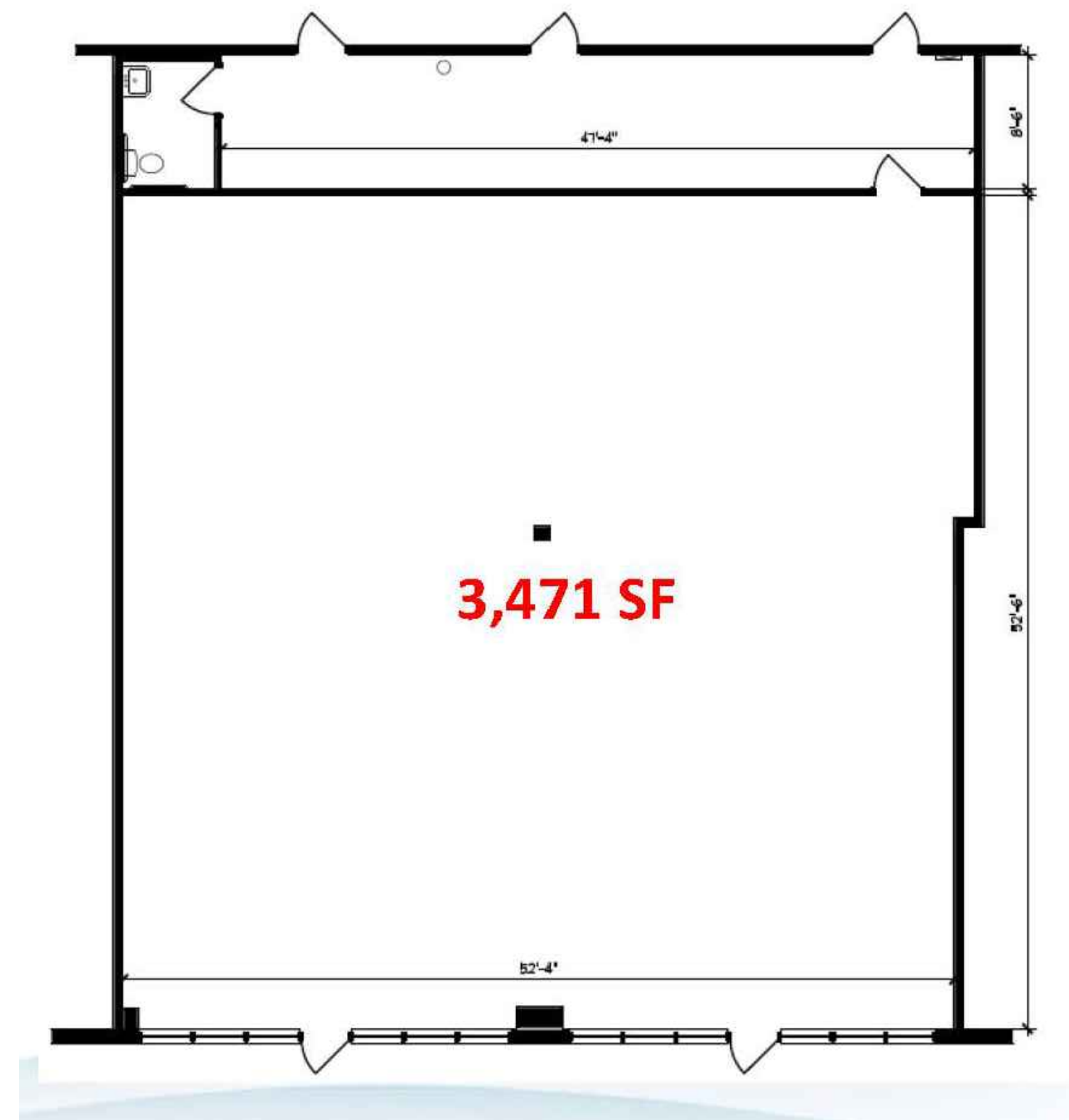
BEING A SUBDIVISION RECORDED IN PLAT BOOK 42 PAGE 205
AND THE PLAT RECORDED IN PLAT BOOK 43 PAGE 77
OF THE ST. CHARLES COUNTY RECORDS, DARDENNE PRAIRIE



PREPARED BY:
STOCK & ASSOCIATES
 Consulting Engineers, Inc.
 257 Chesterfield Business Parkway
 St. Louis, MO 63005 PH: (636) 530-9000 FAX: (636) 530-9100
 e-mail: general@stockassoc.com
 Web: www.stockassoc.com



SCALE: 1"=80'



Mercy - Floor Plan
SCALE: 1"=10'

AREA PLAN / FINAL PLAN FOR:
DARDENNE TOWN SQUARE
 7913 STATE ROUTE N
 DARDENNE PRAIRIE, MO 63366

PREPARED FOR:
MERCY
 655 MARYVILLE CENTER DRIVE
 SUITE 300
 ST. LOUIS, MO 63141

Dos Lagos Asset
Dardenne Spe LLC
 9885 NOVARA LN.
 CYPRES, CA 90630

NOTE:
 1. DRAWING BACKGROUND PER "OVERALL DARDENNE TOWN SQUARE PLAN"
 PREPARED BY COLE AND ASSOCIATES DATED 9/05/2007
 2. DEVIATION FROM C3 ZONING REQUIRED MIN. LOT WIDTH OF 150'
 REQUIRED FOR LOT 10
 3. ANY DEVIATIONS EXISTING ON THE DATE THE C3 PUD REZONING WAS
 APPROVED SHALL BE LEGALLY NON-CONFORMING, HOWEVER, ANY NEW
 DEVIATIONS SHALL BE IN ACCORDANCE WITH SECTION 405.330.

REVISIONS: 1 12/13/2024 UPDATE TO FINAL PLAN	12/13/2024 GEORGE M. STOCK E-25116 CIVIL ENGINEER CERTIFICATE OF AUTHORITY NUMBER: 00096
DRAWN BY: T.S.	CHECKED BY: G.M.S.
DATE: 12/05/2024	JOB NO: 224-7731
SHEET TITLE: AREA PLAN / FINAL PLAN	
SHEET NO.: C1.0	



City Hall
2032 Hanley Road
Dardenne Prairie, MO 63368
Phone 636.561.1718
Fax 636.625.0077

P.U.D. REQUEST – FINAL PLAN

CITY OF DARDENNE PRAIRIE, MISSOURI

www.DardennePrairie.org

APPLICANT: Stock & Associates Consulting Engineers, Inc

Company Name
George M. Stock, P.E. - President

Printed Name, Title
257 Chesterfield Business Parkway

Street Address
Chesterfield, MO 63005

City/State/Zip Code
(636) 530-9100 (636) 530-9130

Telephone Facsimile
george.stock@stockassoc.com

Email Address

STREET ADDRESS OF PROPERTY: 7913 HWY N. Dardenne Prairie, MO 63368

OWNER (attach additional):
Dos Lagos Asset Dardenne SPE LLC

Printed Name

Printed Name

Street Address
9885 Novara Ln.

City/State/Zip Code
Cypress, CA 90630

Telephone Facsimile

Email Address

Contract Purchaser/Developer:
Mercy Real Estate

Company Name
Michael DeMaiolo, Senior Manager

Printed Name, Title
655 Maryville Centre Dr., Suite 300

Street Address
St. Louis, MO 63141

City/State/Zip Code
314-364-2322 314-364-2332

Telephone Facsimile
Michael.DeMaiolo@Mercy.Net

Email Address

LEGAL DESCRIPTION OF PROPERTY (other than address) Dardenne Town Square Resubdivision Lot 12C
PL. 43 PG. 77

EXISTING ZONING: C3 w/ Proposed P.U.D.

PROPOSED USE: Retail w/ limited Medical / Retail Clinic NO. UNITS: _____

PROJECT AREA: 0.284 Ac. PROPERTY AREA: _____

FINAL PLAN REVIEW FEE SUBMITTED: _____



Todd M. Streiler AICP, LEED AP
Planning & Development Manager
Tstreiler@DardennePrairie.org
Phone 636.755.5314

Staff Report

TO: Planning and Zoning Commission

FROM: Todd Streiler, Planning & Development Manager

DATE: January 3, 2025

SUBJECT: Town Square Lot 12c PUD Rezoning Final Plan (Mercy)

At the December 11, 2024, meeting, the Planning Commission recommended the Board approve the proposed "C3" PUD change in zoning and Area Plan to allow Mercy to occupy the 3,500 SF space formally occupied by Hallmark. At the January 8, 2025 Board Meeting, the Board approved the rezoning and PUD Area Plan via ordinance specifically allowing medical clinics as a permitted use. The rezoning and PUD Area Plan only applies to Lot 12c. The next step in the PUD process is the review and approval of the PUD Final Plan.

Background:

The current zoning of the Town Square was established via Ordinance #1824 on November 16, 2016 which rezoned the Dardenne Town Square from Uptown District to "**C3**" **Retail Commercial**. Since 2016, the only new development to occur is the establishment of the City's 1st cannabis dispensary; "*CBD American Shaman*", approved on September 16, 2020, located between Pub-N-Grub and the space formally occupied by Jenny Craig and on September 9, 2024, St. Louis Skin Solutions opened in the space formerly occupied by Jenny Craig.

The Town Square is designated as "Commercial" on the Future Land Use Map. The proposed Final Plan is consistent with 2020 Comprehensive Plan.

Zoning and Subdivision Code Compliance Summary

According to the City's "C-3" Retail Commercial District, Section 405.195 E., "*The minimum lot width for a structure shall be one hundred fifty (150) feet at the building line; provided, however, that the Board of Aldermen may approve a lesser minimum lot width as part of the approval of an area plan pursuant to Article IV of Chapter 405 of this Code.*" *Lot 12c of the Town Square shown on the Record Plat is only 55' in width. This deviation would need to be added to the Final Plan and approved by the Board. This is a pre-existing non-conformity that would be corrected with the proposed PUD rezoning.*

The width of Lot 12c is the only zoning deviation noted on the Town Square Area Plan.

Recommended Action

The petitioner is requesting approval of the Final PUD Plan to allow a Retail Medical Clinic to occupy the space formally occupied by Hallmark (Lot 12c). Please note, no improvements or changes are being proposed to the site.

Upon review, Staff found the Final Plan is the same as the approved Area Plan; no changes or deviations have been made or requested. Staff recommends the Planning Commission pass the following motion:

- A. Motion to recommend the Board approves the PUD Final Plan.

Motions should be in the affirmative. Should a commissioner wish to deny the Amended Area Plan, they should vote "Nay" to a motion to approve.

Next Steps

Review and final consideration of the PUD Final Plan by the Board.

End of Report

Enclosures

cc: Mayor John Gotway and Board of Aldermen
Cathy Pratt, Interim City Administrator
Kim Clark, City Clerk
John Young, City Attorney

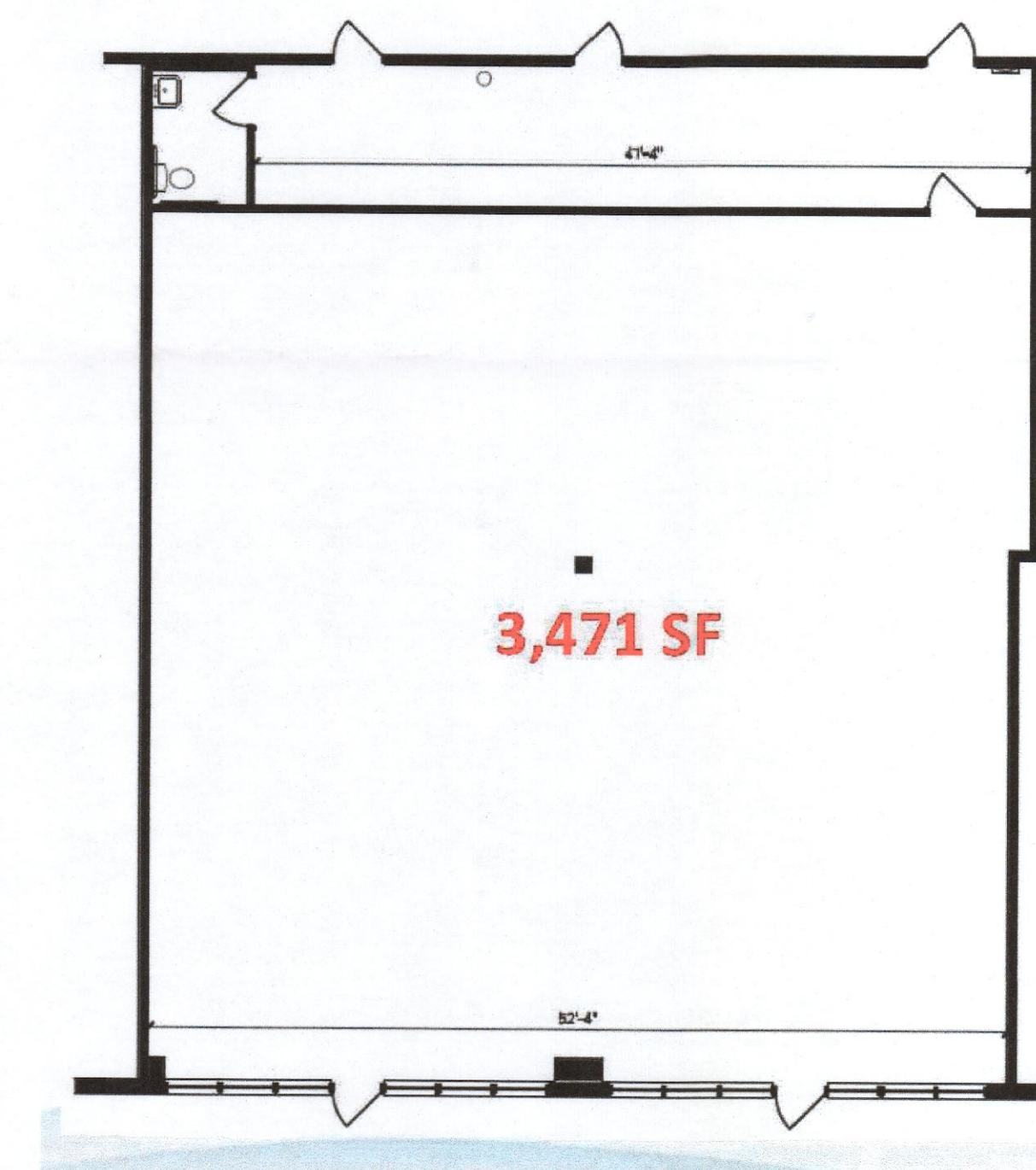
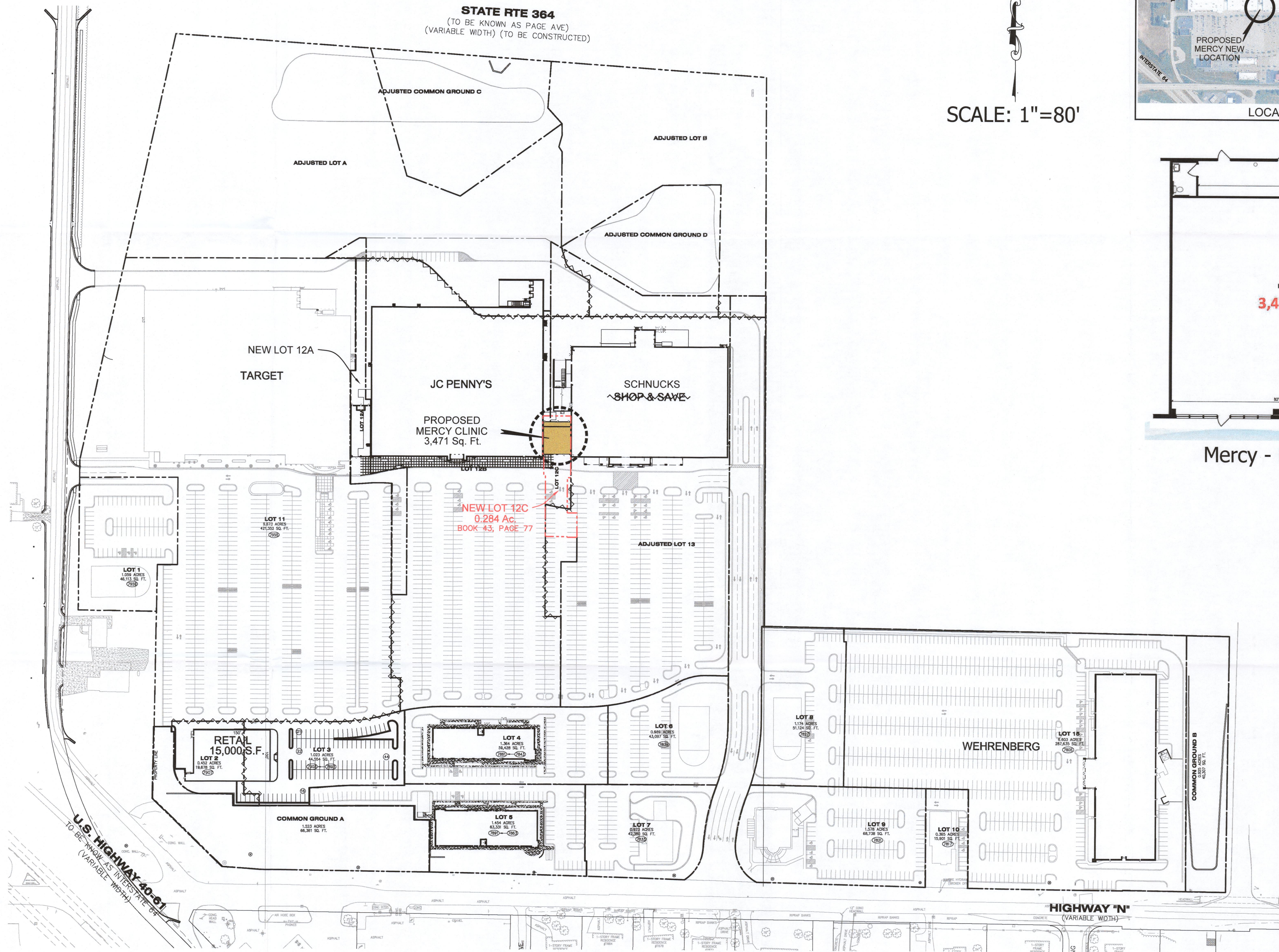
AREA PLAN / FINAL PLAN DARDENNE TOWN SQUARE

BEING A SUBDIVISION RECORDED IN PLAT BOOK 42 PAGE 205
AND THE PLAT RECORDED IN PLAT BOOK 43 PAGE 77
OF THE ST. CHARLES COUNTY RECORDS, DARDENNE PRAIRIE



PREPARED BY:
Stock & Associates
 Consulting Engineers, Inc.
 257 Chesterfield Business Parkway
 St. Louis, MO 63016 PH: (636)
 538-9100 FAX (636) 530-9120
 e-mail: general@stockassoc.com
 Web: www.stockassoc.com

SCALE: 1"=80'



Mercy - Floor Plan
SCALE: 1"=10'

AREA PLAN / FINAL PLAN FOR:
DARDENNE TOWN SQUARE
 7913 STATE ROUTE N
 DARDENNE PRAIRIE, MO 63366

12/13/2024
 GEORGE M. STOCK E-2816
 CIVIL ENGINEER
 CERTIFICATE OF AUTHORITY
 NUMBER 30096

REVISIONS:
 1 12/13/2024 UPDATE TO FINAL PLAN

DRAWN BY: T.S.
 CHECKED BY: G.M.S.
 DATE: 12/05/2024 JOB NO: 224-7731

SHEET TITLE:
 AREA PLAN / FINAL PLAN

SHEET NO.:
 C1.0

PREPARED FOR:
MERCY
 655 MARYVILLE CENTER DRIVE
 SUITE 300
 ST. LOUIS, MO 63141

Dos Lagos Asset
Dardenne Spe LLC
 9885 NOVARA LN.
 CYPRES, CA 90630

NOTE:
 1. DRAWING BACKGROUND PER "OVERALL DARDENNE TOWN SQUARE PLAN" PREPARED BY COLE AND ASSOCIATES DATED 9/05/2007
 2. DEVIATION FROM C3 ZONING REQUIRED MIN. LOT WIDTH OF 150' REQUIRED FOR LOT 10
 3. ANY DEVIATIONS EXISTING ON THE DATE THE C3 PUD REZONING WAS APPROVED SHALL BE LEGALLY NON-CONFORMING, HOWEVER, ANY NEW DEVIATIONS SHALL BE IN ACCORDANCE WITH SECTION 405.330.



Todd M. Streiler AICP, LEED AP
Planning & Development Manager
Tstreiler@DardennePrairie.org
Phone 636.755.5314

Staff Report

TO: Planning and Zoning Commission

FROM: Todd Streiler, Planning & Development Manager

DATE: January 3, 2024

SUBJECT: Prairie Encore 4th Amended PUD Final Plan – Carports & Garages – Lot 1.

Project Summary:

The proposed carports and garages are located on Lot 1 of the Prairie Encore. The approved Area Plan and Final Plan included an apartment building containing 190 units and 330 stalls, resulting in a parking ratio of **1.73 stalls per unit**. The installation of the proposed garages and carports will eliminate seven (7) stalls resulting in 323 parking stalls or a parking ratio of **1.70 stalls per unit**. The “RM” Multifamily Residential District Regulations, Section 405.175 I.7, require two (2) stalls per unit, however, under the City’s Planning Unit Development (PUD) procedure, the parking ratio is subject to Board approval. The Board approved a parking ration of 1.73 stalls per unit for the Encore. The proposed 4rd Amended PUD Final Plan is the same as the approved 3rd Amended Area Plan & Final Plan with the exception of the carports and garages added and the elimination of seven (7) parking stalls.

Background

The site was previously undeveloped and known as the Bopp Property. On March 15, 2023, the site was rezoned from “C2” General Commercial to “C3” Retail Commercial District, Planned Unit Development (PUD) and the Area Plan was approved under Ordinance #2238 creating the “Prairie Encore”. The Final Plan for the Encore was approved on July 6, 2023, via Ordinance # 2260. The 1st Amended Area Plan was approved on December 20, 2023, via Ordinance #2279 followed by the approval of the 1st Amended Final Plan on January 17, 2024, via Ordinance #2284. The 2nd Amended Final Plan was approved on February 21, 2024, via Ordinance #2288 which allowed the addition of Starbucks. The 3rd Amended Area Plan was approved at the Board’s November 20th, 2024 meeting, and the 3rd Amended Final Plan was approved at the Board’s January 8, 2025 Meeting allowing the 8,200 sf Prairie Ridge Animal Hospital on Lot 6.

Recommended Action

The petitioner is requesting approval of the 4th Amended Final Plan as a minor change. The following statements were provided from the petitioner:

“Garages and covered parking are important amenities to tenants, which results in an increase in the desirability, function, and overall success of an apartment community. All similar apartment communities in the St. Charles County market have garages and covered parking for tenants, including other apartment communities in Dardenne Prairie (The Prairie Luxury Apartments) and nearby (Citrine in Lake St. Louis, Altair at the Preserve and Avenue64 in O’Fallon). If Prairie Encore lacks similar amenities, tenants will choose options outside of Dardenne Prairie, which is a lose-lose scenario for the City and all other stakeholders.”

The community's professional management company enforces a zero-tolerance policy against using the garages for storage other than regularly-used vehicles. Prairie Encore meets the City's parking requirements, and the owner believes plenty of parking exists with the garages and carports based on operations at several other similar apartment communities."

The Planning Commission must determine if the proposed 4th Amended Final Plan is a minor change or major change. According to Section 405.310 A.1. *"The Final Plan shall conform to the approved Area Plan, except that minor variations in layout may be permitted at the discretion of the Commission and without amendment of the approved Area Plan. Minor variations include, but are not necessarily limited to, a change in residential floor area, an increase in non-residential floor area of five percent (5%) or less and a change in layout, provided that in the case of a change in layout, the applicant shall provide the Board of Aldermen and the Commission each a revised Area Plan which incorporates such layouts.*

Upon review, Staff found that the 4th Amended Final Plan is consistent with the approved 3rd Amended Area Plan & Final Plan and the appropriate zoning and subdivision regulations- with the exception of the elimination of seven (7) parking stalls and the addition of the carports and garages. Staff recommends the Planning Commission pass one of the following motions:

Motion to consider the amendments minor and approve the Final Plan as submitted.

Motion to consider the amendments major and require the petitioner to Amended the Area Plan.

Motions should be in the affirmative. Should a commissioner decide to deny the Final Plan, they should vote "Nay" to a motion to approve.

Next Steps

If the changes are considered minor, the Amended Final Plan will be forwarded to the Board for final consideration. If the changes are considered major, the Petitioner will need to go through the PUD review process all over again.

End of Report

Enclosures

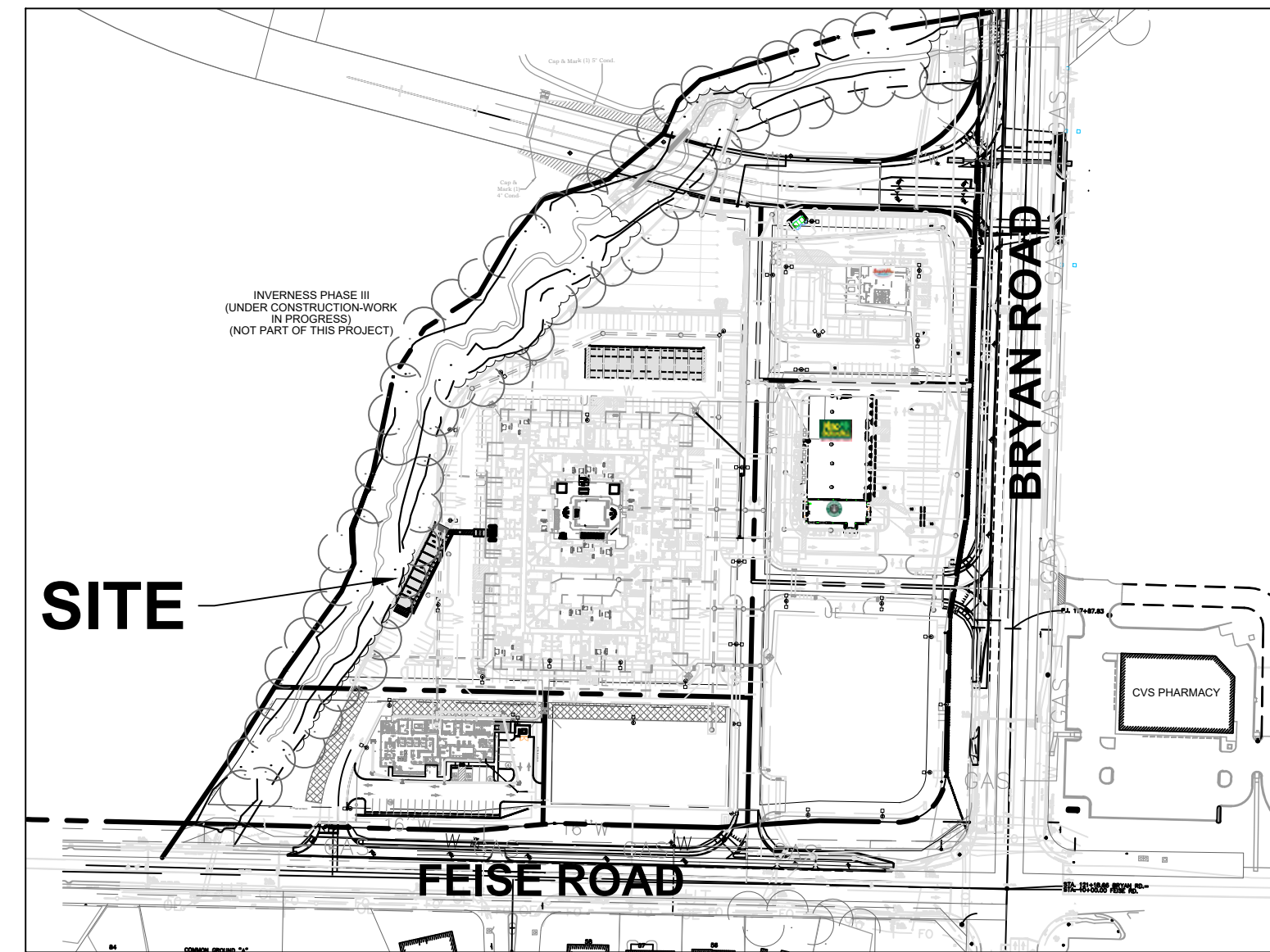
cc: Mayor John Gotway and Board of Aldermen
Cathy Pratt, Interim City Administrator
Kim Clark, City Clerk
John Young, City Attorney

FOURTH AMENDED P.U.D. AREA PLAN FOR THE PRAIRIE ENCORE

A TRACT OF LAND BEING PART OF SECTION 1,
TOWNSHIP 46 NORTH, RANGE 2 EAST,
ST. CHARLES COUNTY, MISSOURI

LEGEND

EXISTING	PROPOSED



LOCATION MAP
NOT TO SCALE

PROPERTY INFORMATION

OWNER:	MIA ROSE HOLDINGS, LLC
SITE ADDRESS:	1575 BRYAN ROAD DARDENNE PRAIRIE, MISSOURI 63366
PARCEL ID#:	4-0033-S001-00-0001.2000000
EXISTING ZONING:	C-3 PLANNED UNIT DEVELOPMENT (P.U.D.)
SUBJECT SITE AREA:	TOTAL = 17.25 ACRES (INCLUDES R/W)
NUMBER OF RESIDENTIAL UNITS:	LOT 1 - 190 UNITS (MULTI-FAMILY RESIDENTIAL)
WATER DISTRICT:	PUBLIC WATER SUPPLY DISTRICT #2
FIRE DISTRICT:	O'FALLON FIRE PROTECTION DISTRICT
SEWER DISTRICT:	DUCKETT CREEK SANITARY DISTRICT
ELECTRIC SERVICE:	AMEREN MISSOURI ELECTRIC
NATURAL GAS SERVICE:	SPIRE ENERGY
SCHOOL DISTRICT:	WENTZVILLE SCHOOL DISTRICT
COMMUNICATIONS:	SPECTRUM / AT&T COMMUNICATIONS

REGULATIONS AND PERFORMANCE STANDARDS FOR C-3 ZONING DISTRICT (BASIS FOR COMMERCIAL - LOTS 2, 3, 4, 5, 6)

- LOT WIDTH = 150 FEET WIDE AT BUILDING LINES
- LOT DEPTH = NONE
- LOT COVERAGE = NONE
- FRONT YARD = NOT LESS THAN 25 FEET, EXCLUDING ALL SIGNS, PUMP ISLANDS, AND CANOPIES OF GASOLINE SERVICE STATIONS
- SIDE YARD = NOT LESS THAN 10 FEET, 25 FEET SHALL BE PROVIDED ON THE STREET SIDE OF A CORNER LOT.
- REAR YARD = NOT LESS THAN 15 FEET.
- TRANSITION STRIP BETWEEN RESIDENTIAL AND COMMERCIAL DISTRICT SHALL BE A MINIMUM OF 15 FEET.

DEVIATIONS REQUESTED FOR FOR C-3 ZONING DISTRICT (BASIS FOR COMMERCIAL - LOTS 2, 3, 4, 5, 6)

- LOT WIDTH - N/A
- LOT DEPTH - N/A
- LOT COVERAGE - N/A
- FRONT YARD - N/A
- SIDE YARD - N/A
- REAR YARD - N/A
- TRANSITION STRIP BETWEEN RESIDENTIAL AND COMMERCIAL DISTRICT: LOT 1 TRANSITION STRIP BETWEEN LOTS 2, 3, 4, 5, 6 = 0 FEET

THE APPLICANT AND OWNER(S) OF RECORD HAVE REVIEWED THE APPROVED AREA PLAN AND ALL THE IMPROVEMENTS AS SHOWN ON THE AREA PLAN SHALL BE BINDING UPON THE APPLICANT AND THE OWNER(S) AND THEIR HEIRS, SUCCESSORS, AND ASSIGNS.

SIGNED

OWNER

APPLICANT

SITE COVERAGE CALCULATIONS

EXISTING SITE	Area (ac.)	% Total
Description	17.25	
Buildings =	0.26	1.5%
Pavement =	0.33	1.9%
Total Impervious Area =	0.59	3.4%
Open Space =	16.66	96.6%
PROPOSED SITE	Area (ac.)	% Total
Description	17.25	
Buildings =	1.99	11.6%
Pavement =	8.16	47.3%
Total Impervious Area =	10.15	58.8%
Open Space =	7.10	41.2%
LOT 1	Area (ac.)	% Total
Description	6.71	
Buildings =	1.52	22.7%
Pavement =	2.56	38.2%
Total Impervious Area =	4.09	60.9%
Open Space =	2.63	39.1%
LOT 2	Area (ac.)	% Total
Description	1.37	
Buildings =	0.07	5.0%
Pavement =	1.10	80.4%
Total Impervious Area =	1.17	85.5%
Open Space =	0.20	14.5%
LOT 3	Area (ac.)	% Total
Description	1.58	
Buildings =	0.28	17.69%
Pavement =	1.08	68.1%
Total Impervious Area =	1.36	85.7%
Open Space =	0.23	14.3%
LOT 4	Area (ac.)	% Total
Description	1.72	
Buildings =	0.12	7.0%
Pavement =	1.29	75.0%
Total Impervious Area =	1.41	82.0%
Open Space =	0.31	18.0%
LOT 5	Area (ac.)	% Total
Description	0.99	
Buildings =	0.24	24.2%
Pavement =	0.24	24.2%
Total Impervious Area =	0.24	24.2%
Open Space =	0.75	75.8%
LOT 6	Area (ac.)	% Total
Description	1.60	
Buildings =	0.72	45.2%
Pavement =	0.19	11.7%
Total Impervious Area =	0.91	56.9%
Open Space =	0.69	43.1%
LOT 7	Area (ac.)	% Total
Description	1.17	
Buildings =	0.00	0.0%
Pavement =	1.17	100.0%
Total Impervious Area =	1.17	100.0%
Open Space =	0.00	0.0%
PROPOSED R/W	Area (ac.)	% Total
Description	2.11	
Buildings =	1.16	55.0%
Pavement =	1.16	55.0%
Total Impervious Area =	0.95	45.0%
Open Space =	1.16	55.0%

LOT AREAS

Lot	Area	Acres
Lot 1 Area =	292,453 sq. ft.	6.71 Acres
Lot 2 Area =	59,591 sq. ft.	1.37 Acres
Lot 3 Area =	68,966 sq. ft.	1.58 Acres
Lot 4 Area =	74,998 sq. ft.	1.72 Acres
Lot 5 Area =	43,096 sq. ft.	0.99 Acres
Lot 6 Area =	69,842 sq. ft.	1.60 Acres
Lot 7 Area =	50,785 sq. ft.	1.17 Acres
Cora Marie R/W	31,317 sq. ft.	0.72 Acres
Bryan/Feise R/W	60,379 sq. ft.	1.39 Acres
Total =	751,427 sq. ft.	17.25 Acres

DENSITY CALCULATIONS

Total Dwelling Units =	190 units
Total Area Including ROW	17.25 acres
	11.01 units/acre (Including ROW)
Total Area Excluding ROW	15.23 acres (Excluding ROW)
	12.47 units/acre

PARKING SUMMARY

LOT 1	
Multi-Family Apartment Building	
Chapter 405 Zoning Code, 405.635 Schedule of Off-Street Parking Requirements:	
Multi-Family, Three spaces per unit (covered parking is optional)	
Dwelling Units	
Total Required (per code) =	3 space x 190 Units = 570 spaces required
Alternative Total (1.7 per unit)	1.7 space x 190 Units = 323 spaces (alternative)
Third Amended Final Plan	
Total Lot 1 Provided =	267 spaces provided
Shared Spaces from Lot 5 =	25 spaces provided
Shared Spaces from Lot 6 =	38 spaces provided
Total	330 spaces provided
Proposed Parking	
Carports =	32 spaces provided
Garages =	8 spaces provided
Spaces on Lot 1 Provided =	220 spaces provided
Shared Spaces from Lot 5 =	25 spaces provided
Shared Spaces from Lot 6 =	38 spaces provided
Total	323 spaces provided
ADA Spaces Required =	8 ADA spaces required
ADA Spaces Provided =	9 ADA spaces provided
LOT 2	
Restaurant (With Pickup Window)	
Chapter 405 Zoning Code, 405.635 Schedule of Off-Street Parking Requirements:	
Restaurant General, Twenty (20) Spaces plus One (1) space per 100 square feet	
Building Area =	3,000 sq. ft.
Total Required =	20 + 3,000 sq. ft. x 1 space = 50 spaces required
	100 sq. ft.
Total	51 spaces provided
ADA Spaces Required =	3 ADA spaces required
ADA Spaces Provided =	3 ADA spaces provided
LOT 3	
RETAIL	
Chapter 405 Zoning Code, 405.635 Schedule of Off-Street Parking Requirements:	
Retail, General, Ten (10) spaces plus One (1) per Four Hundred (400) square feet in excess of first Two-Thousand (2,000) square feet	
Building Area =	12,330 sq. ft.
Total Required =	10 + 10,330 sq. ft. x 1 space = 36 spaces required
	400 sq. ft.
Total Provided =	45 spaces provided
ADA Spaces Required =	2 ADA spaces required
ADA Spaces Provided =	3 ADA spaces provided
LOT 4	
Convenience/Fueling Station	
Chapter 405 Zoning Code, 405.635 Schedule of Off-Street Parking Requirements:	
Convenience/Fueling Station: One (1) Space per 250 square feet of floor area	
Building Area =	5,200 sq. ft.
Total Required =	5,200 sq. ft. x 1 space = 21 spaces required
	250 sq. ft.
Total Provided =	28 spaces provided
ADA Spaces Required =	2 ADA spaces required
ADA Spaces Provided =	2 ADA spaces provided
LOT 6	
Vet Clinic	
Chapter 405 Zoning Code, 405.635 Schedule of Off-Street Parking Requirements:	
Animal care, limited or general: One (1) Space per 300 square feet	
Building Area =	8,200 sq. ft.
Total Required =	8,200 sq. ft. x 1 space = 27.33 spaces required
	300 sq. ft.
Total Provided =	28 spaces provided
ADA Spaces Required =	2 ADA spaces required
ADA Spaces Provided =	2 ADA spaces provided

SHEET INDEX

CIVIL	
C000	COVER SHEET
C100	OVERALL SITE PLAN
C101	ENLARGED SITE PLAN
C200	ENLARGED GRADING PLAN
C300	STORM WATER MANAGEMENT PLAN

ARCHITECTURAL	
A2-1	FLOOR PLAN / ELEVATIONS - CARPORT 32
A2-2	FLOOR PLAN / ELEVATIONS - GARAGE 8 ELEVATIONS

DATE: 11/06/24

SCALE:

ENGINEUNITY
BUILDING VALUE
BY DESIGN
17057 N. OUTER FORTY ROAD
CHESTERFIELD, MO 63005
P: (314) 819-9189
WWW.THEENGINEUNITY.COM
MEMBER COMPANY OF AIAH-IBTTA
EST. 2011 BY SGA



THE PRAIRIE ENCORE
FOURTH AMENDED P.U.D. AREA PLAN
GARAGE & CARPORT

LOT 1
DARDENNE PRAIRIE, MISSOURI 63366

Project No:	22-0113	
No	Description	Date
1	City Submittal	11/06/24

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11/06/2024
Sean M. Ackley
MO# PE-2009018679

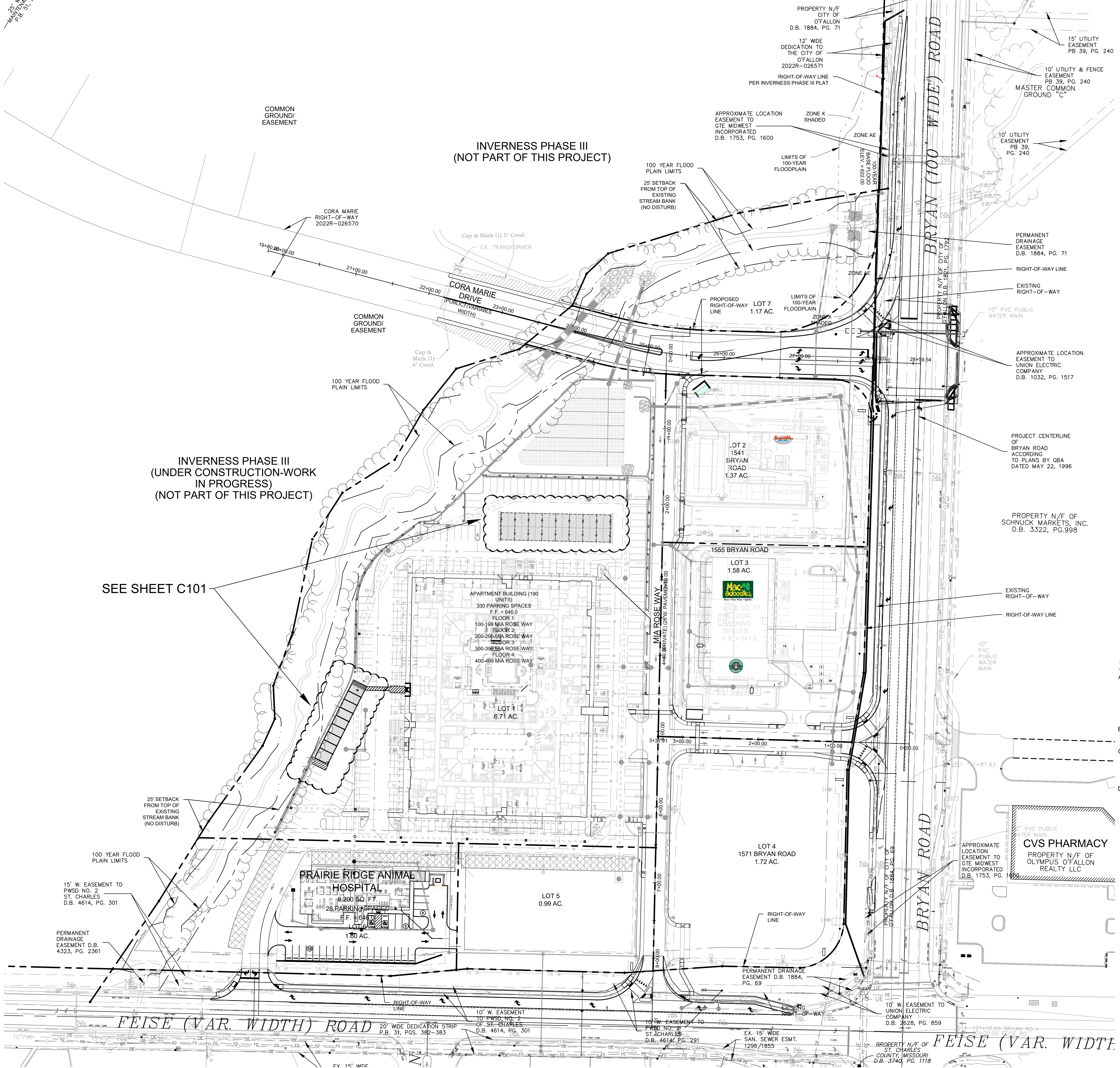
DATE: 11/06/24

SCALE:

COVER SHEET

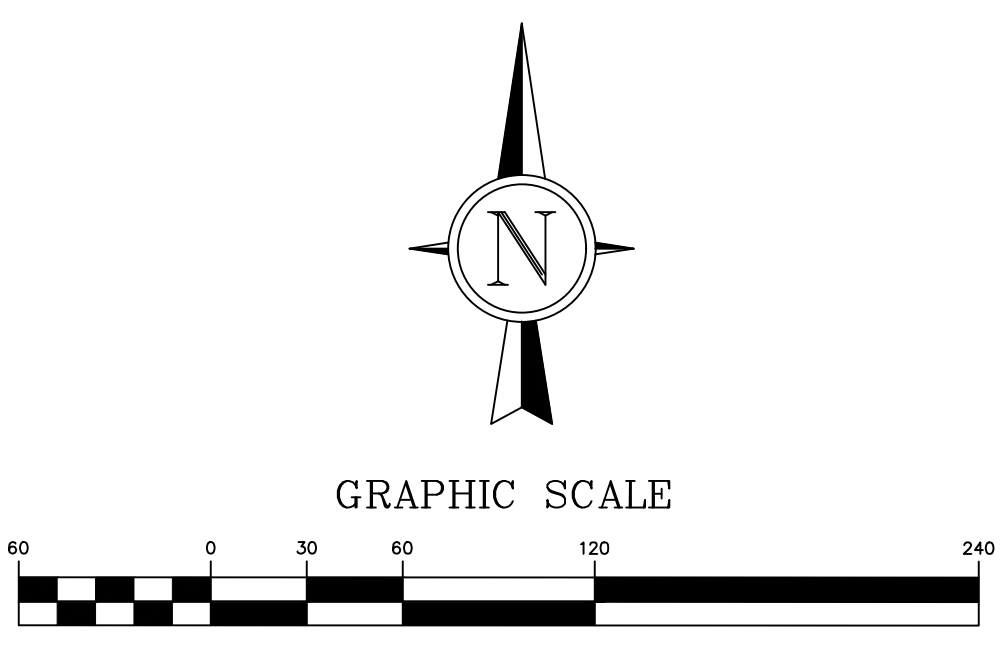
C000

MAY 23, 2024
 P. 08 51' 14"



GENERAL NOTES

- A. THE UTILITIES SHOWN HEREIN WERE PLOTTED FROM AVAILABLE INFORMATION AND DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NONEXISTENCE, SIZE, TYPE, OR LOCATION OF THESE OR OTHER UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UTILITIES, SHOWN OR NOT SHOWN, AND SAID UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY CONSTRUCTION OF IMPROVEMENTS.
- B. THE EXISTING SITE CONDITIONS AND TOPOGRAPHY SHOWN ARE FROM A SITE SURVEY AS PREPARED BY VOLZ INC. AND MD SURVEYING.
- C. IF CONTRACTOR DETERMINES THAT ACTUAL EXISTING CONDITIONS DIFFER FROM THAT SHOWN ON THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER AND OWNER BEFORE COMMENCING AND DEMOLITION OR CONSTRUCTION WORK.
- D. DAMAGED AND/OR NON-COMPLIANT SIDEWALKS WILL BE REMOVED AND REPLACED.



ITEMS SCHEDULED FOR DEMOLITION HAVE BEEN REMOVED FOR CLARITY

DARDENNE PRAIRIE PROJECT #24-1060

ENGINEUNITY
 BUILDING VALUE BY DESIGN
 17057 N. SUITE 147
 CHESTERFIELD, MO 63005
 P: (314) 819-9189
 WWW.THEENGINEUNITY.COM
 MISSOURI LICENSED PROFESSIONAL ENGINEER
 E: 2023-017554



**THE PRAIRIE ENCORE
 FOURTH AMENDED P.U.D. AREA PLAN
 GARAGE & CARPORT**

LOT 1
 DARDENNE PRAIRIE, MISSOURI 63366

Project No:	22-0113	
No	Description	Date
1	City Submittal	11/06/24

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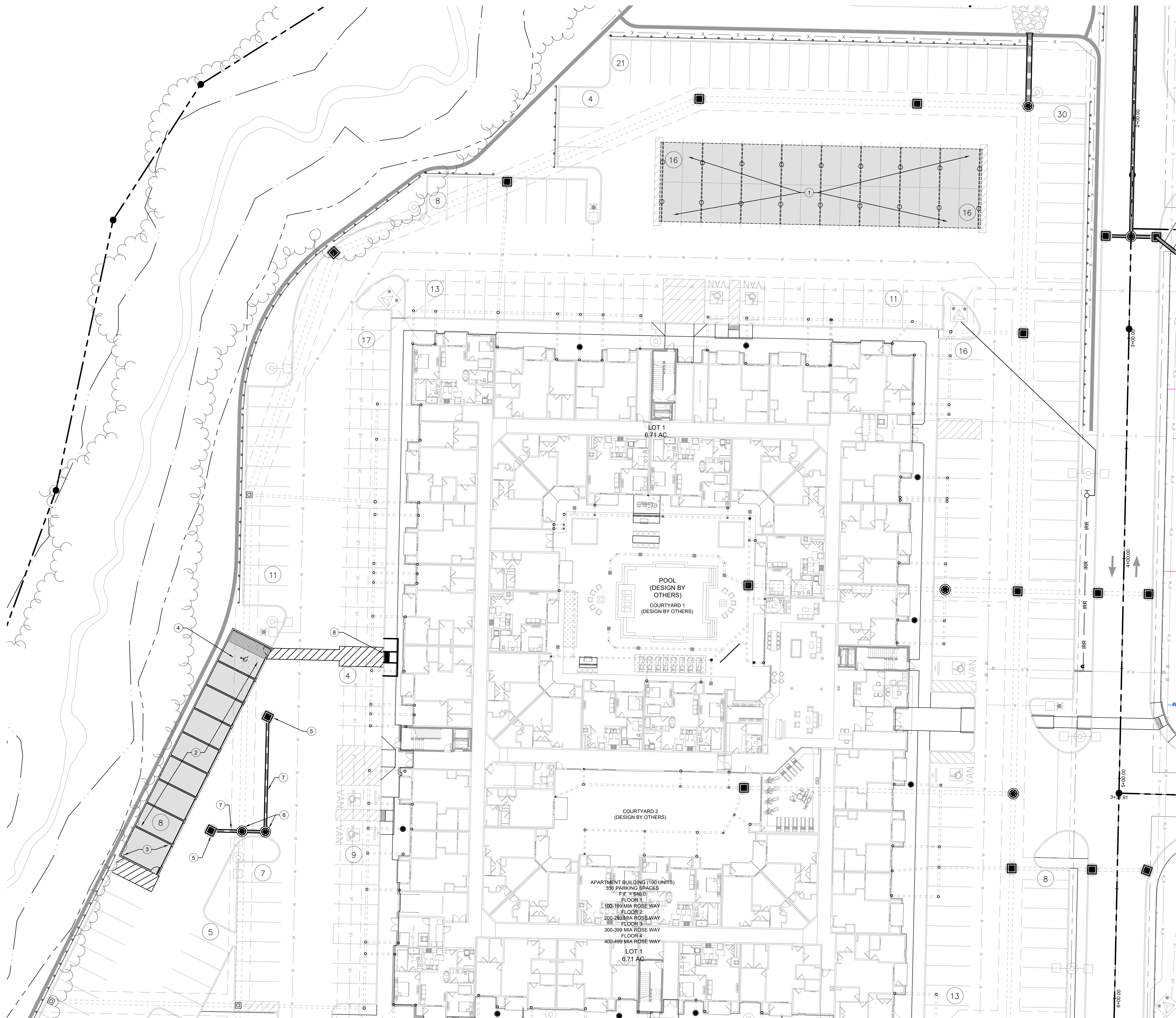


11/06/2024
 Sean M. Ackley
 M.O.# PE-2009018679

DATE: 11/06/24
 SCALE:

OVERALL SITE PLAN

C100



KEYED NOTES

- CARPORT (32 SPACES) (SEE ARCH. DWGS.)
- GARAGE (8 SPACES) (SEE ARCH. DWGS.)
- MAINTENANCE BAY (SEE ARCH. DWGS.)
- ADA SPACE
- 2-GRATE INLET
- STORM MANHOLE.
- STORM SEWER
- ADA RAMP

ENGINEUNITY
BUILDING VALUE
BY DESIGN

17057 N. OUTER FORTY ROAD
CHESTERFIELD, MO 63005
P: (314) 819-9189
WWW.THEENGINEUNITY.COM
MEMBER CORPORATION OF ARCHITECTS
632621017354

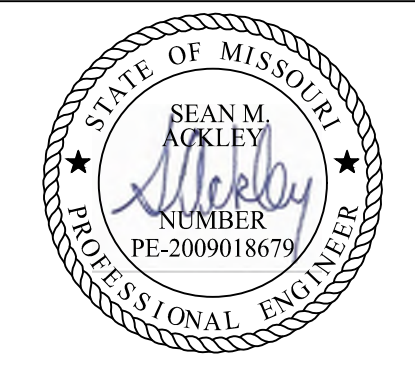


THE PRAIRIE ENCORE
FOURTH AMENDED P.U.D. AREA PLAN
GARAGE & CARPORT

LOT 1
DARDENNE PRAIRIE, MISSOURI 63366

Project No:	22-0113	
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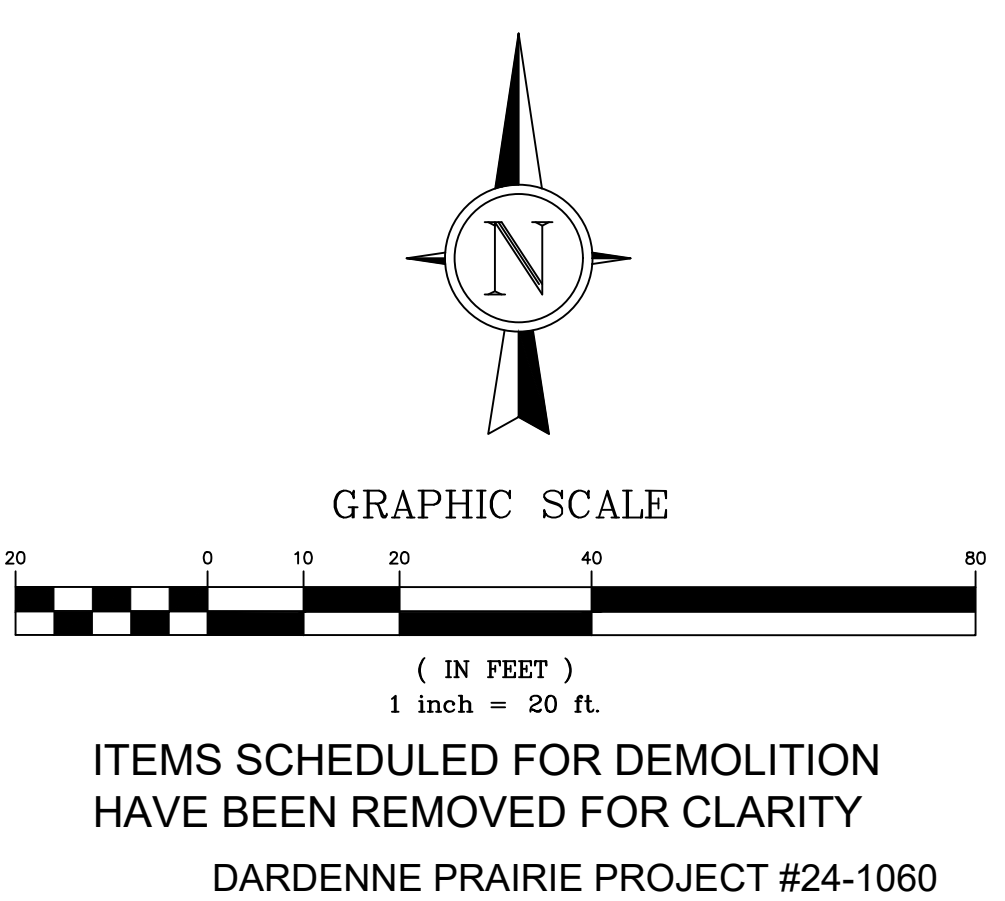
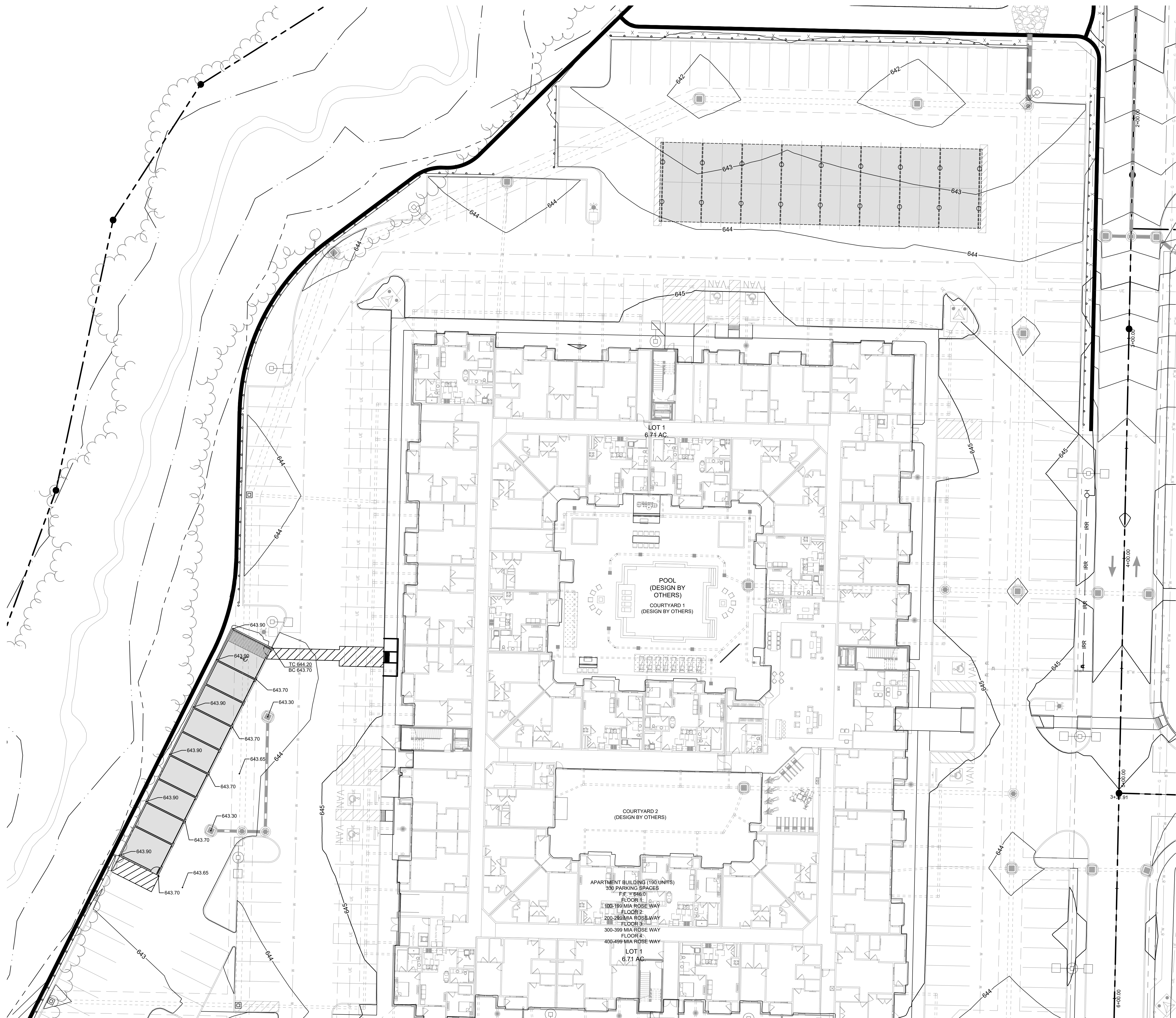
11/06/2024
Sean M. Ackley
MO# PE-2009018679

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DATE: 11/06/24
SCALE:

ENLARGED
SITE PLAN

C101



ENGENUITY
 BUILDING VALUE
 BY DESIGN
 17057 N. OUTER FORTY ROAD
 CHESTERFIELD, MO 63005
 P: (314) 819-9189
 WWW.THEENGENUITY.COM
 MISSOURI LICENSED PROFESSIONAL ENGINEER
 LICENSE NO. 177524



**THE PRAIRIE ENCORE
 FOURTH AMENDED P.U.D. AREA PLAN
 GARAGE & CARPORT**
 LOT 1
 DARDENNE PRAIRIE, MISSOURI 63366

Project No:	22-0113	
No	Description	Date
1	City Submittal	11/06/24

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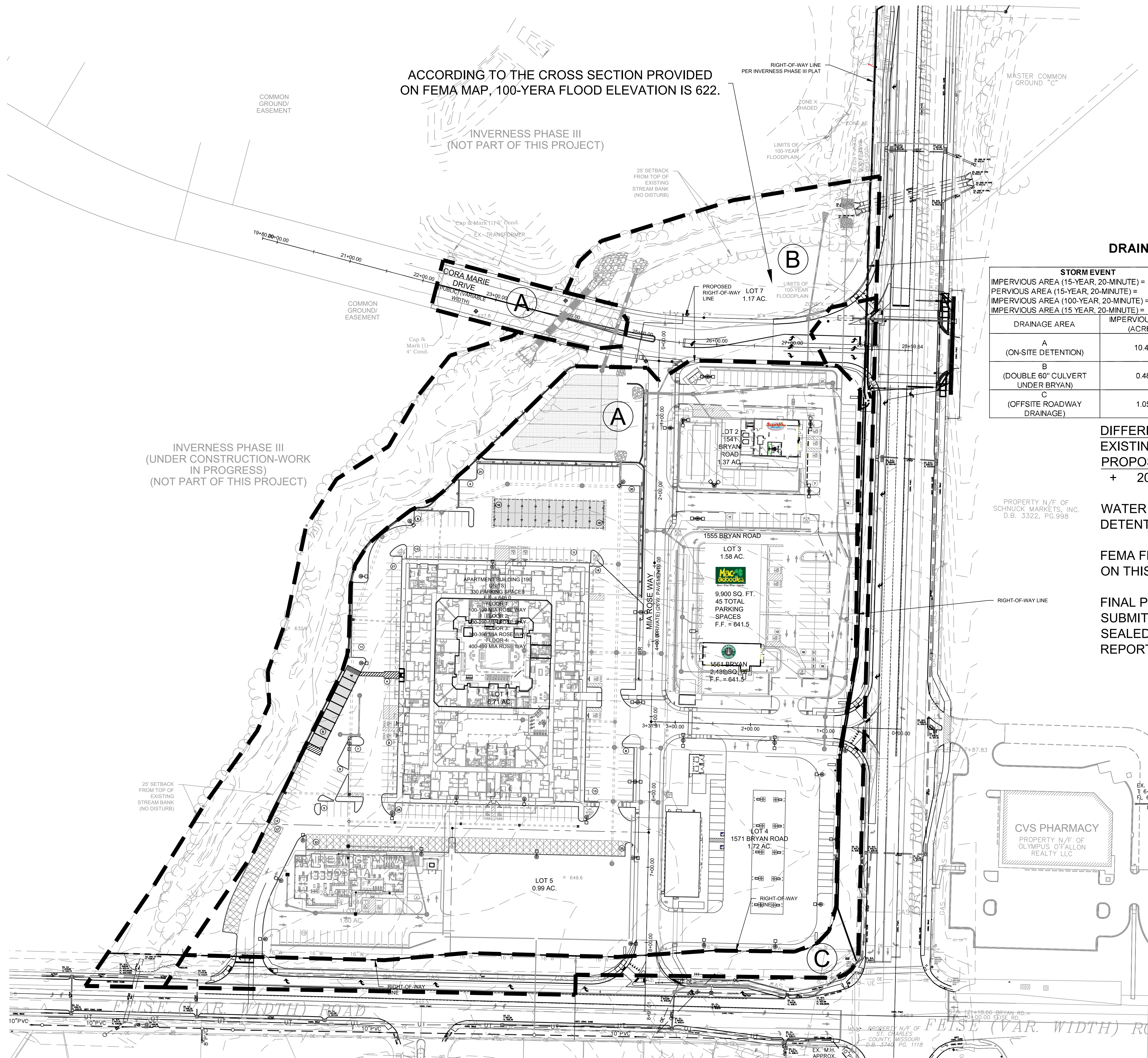
11/06/2024
 Sean M. Ackley
 MO# PE-2009018679

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DATE: 11/06/24

SCALE: ENLARGED GRADING PLAN

C200



ACCORDING TO THE CROSS SECTION PROVIDED ON FEMA MAP, 100-YEAR FLOOD ELEVATION IS 622.

INVERNESS PHASE III (NOT PART OF THIS PROJECT)

INVERNESS PHASE III (UNDER CONSTRUCTION-WORK IN PROGRESS) (NOT PART OF THIS PROJECT)

DRAINAGE AREA TABLE

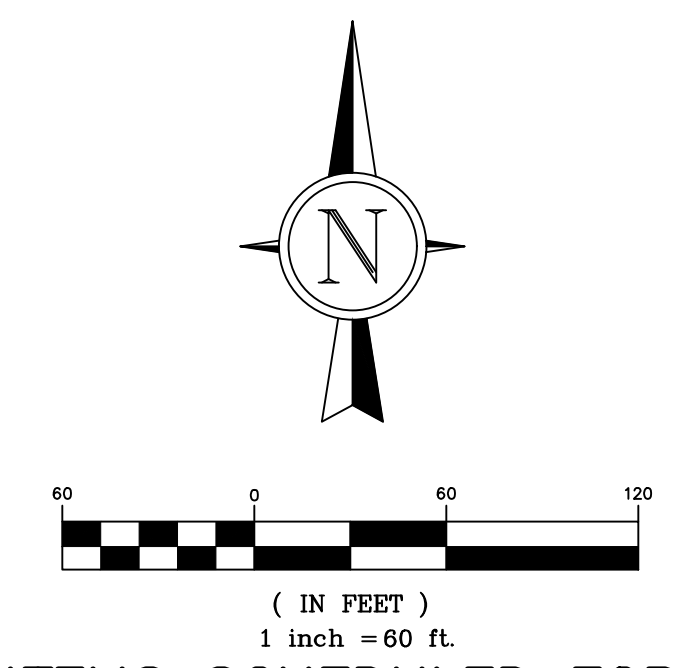
STORM EVENT		PI FACTOR			
IMPERVIOUS AREA (15-YEAR, 20-MINUTE) =		3.54			
PERVIOUS AREA (15-YEAR, 20-MINUTE) =		1.70			
IMPERVIOUS AREA (100-YEAR, 20-MINUTE) =		4.77			
PERVIOUS AREA (100-YEAR, 20-MINUTE) =		2.29			
DRAINAGE AREA	IMPERVIOUS AREA (ACRES)	PERVIOUS AREA (ACRES)	TOTAL AREA	Q-15 (CFS)	Q-100 (CFS)
A (ON-SITE DETENTION)	10.42	1.84	12.25	40.00	53.89
B (DOUBLE 60" CULVERT UNDER BRYAN)	0.48	3.37	3.85	7.43	10.01
C (OFFSITE ROADWAY DRAINAGE)	1.05	0	1.42	3.72	5.01

DIFFERENTIAL RUNOFF CALCULATIONS
 EXISTING = 30.41 CFS
 PROPOSED = 51.33 CFS
 + 20.92 CFS

WATER QUALITY AND STORMWATER DETENTION ARE REQUIRED

FEMA FLOOD ZONE HAZARD AREAS SHOWN ON THIS PLAN PER FEMA MAP 29183C0240G

FINAL PLAN AND CONSTRUCTION DOCUMENT SUBMITTALS WILL REQUIRE A SIGNED AND SEALED STORMWATER MANAGEMENT REPORT.



ITEMS SCHEDULED FOR DEMOLITION HAVE BEEN REMOVED FOR CLARITY

DARDENNE PRAIRIE PROJECT #24-1060



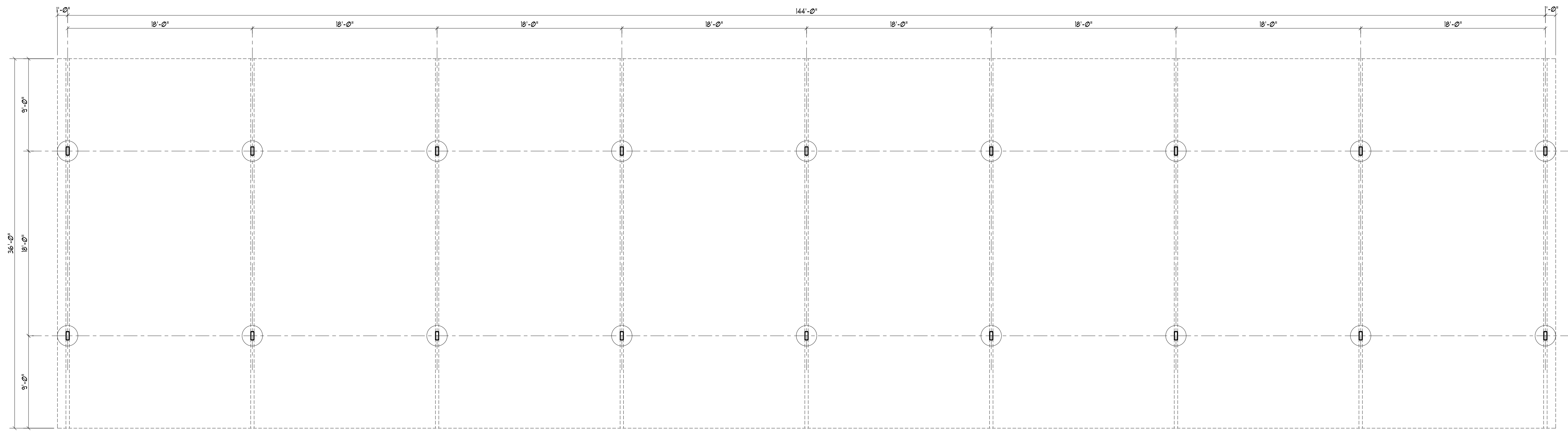
Project No:	22-0113	
No	Description	Date
1	City Submittal	11/06/24

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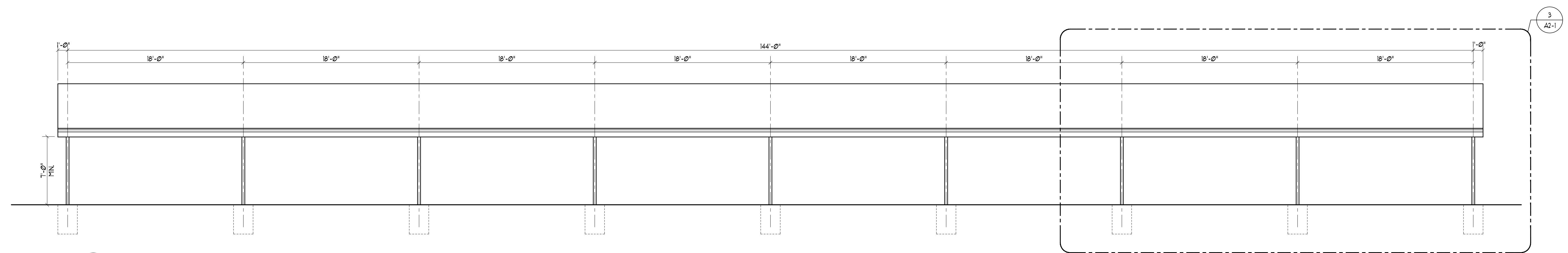


11/06/2024
 Sean M. Ackley
 M.O.# PE-2009018679
 DATE: 11/06/24
 SCALE: 1"=60'

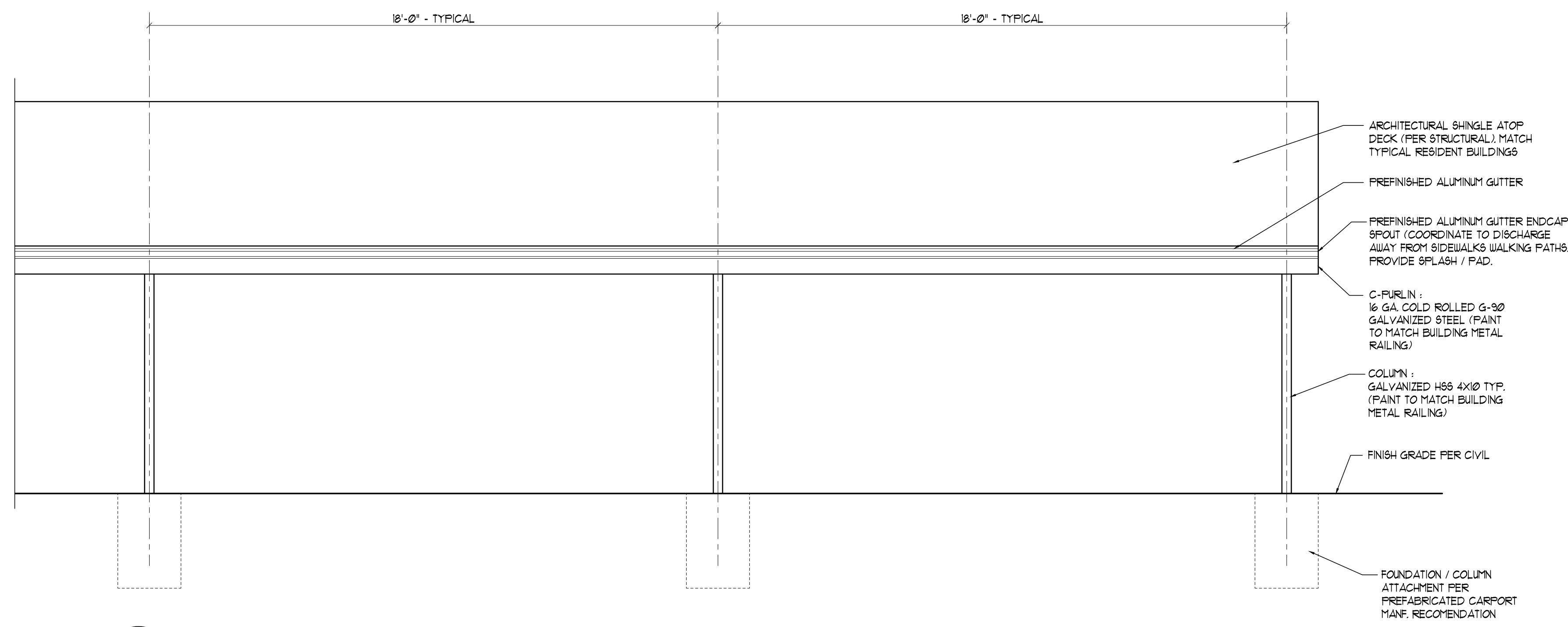
STORMWATER MANAGEMENT PLAN
 C300



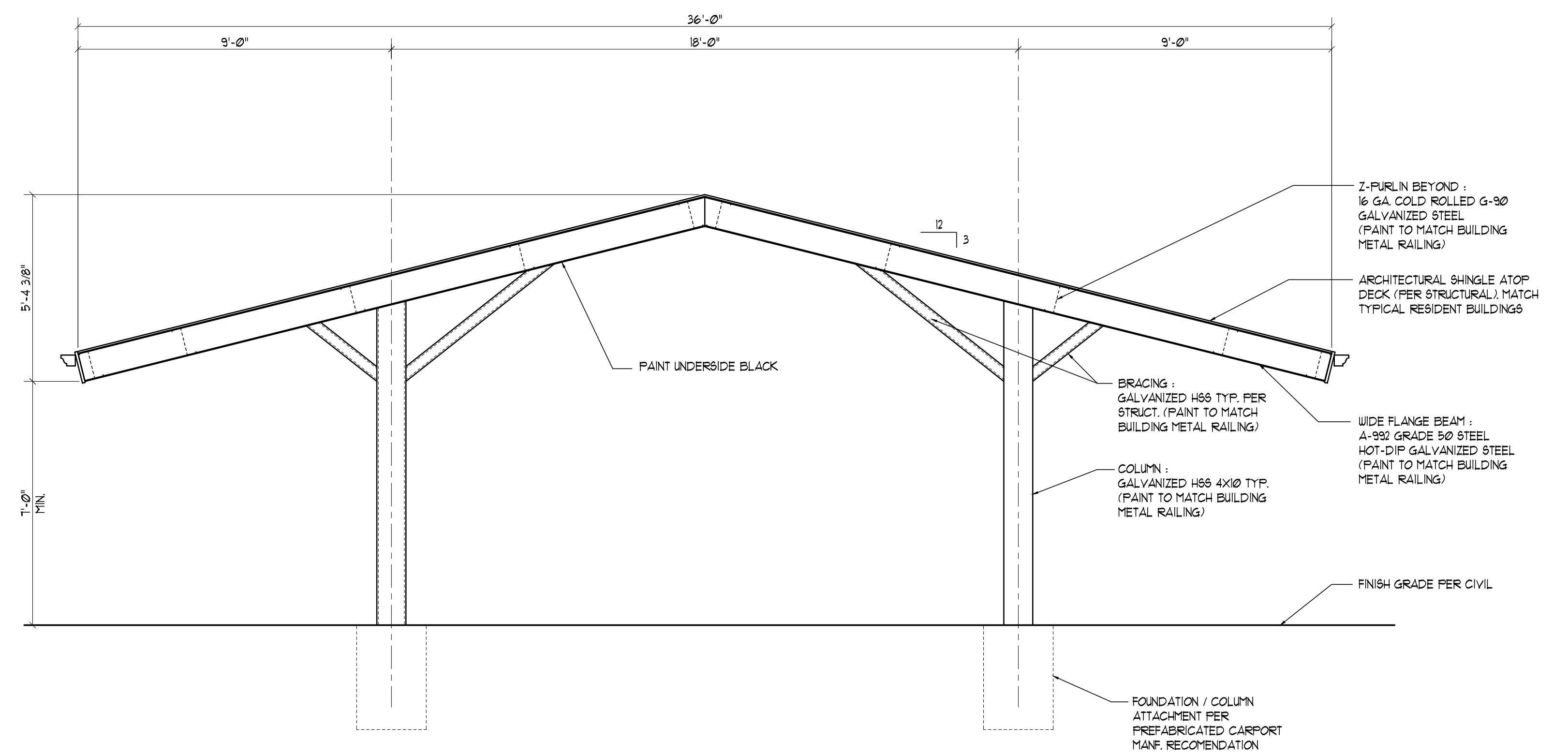
1 FLOOR PLAN
A2-1 SCALE: 3/16"=1'-0"



2 OVERALL FRONT/REAR ELEVATION
A2-1 SCALE: 3/16"=1'-0"



3 ENLARGED PARTIAL ELEVATION
A2-1 SCALE: 3/8"=1'-0"



4 SIDE ELEVATION
A2-1 SCALE: 3/8"=1'-0"

NO.	DATE	DESCRIPTION
1	10/31/24	ISSUED FOR PERMIT
2	10/31/24	ISSUED FOR CONSTRUCTION
3	10/31/24	PRELIMINARY ISSUE

DRAWING ISSUE
ISSUED FOR CONSTRUCTION
ISSUED FOR PERMIT
ISSUED FOR CONSTRUCTION
PRELIMINARY ISSUE

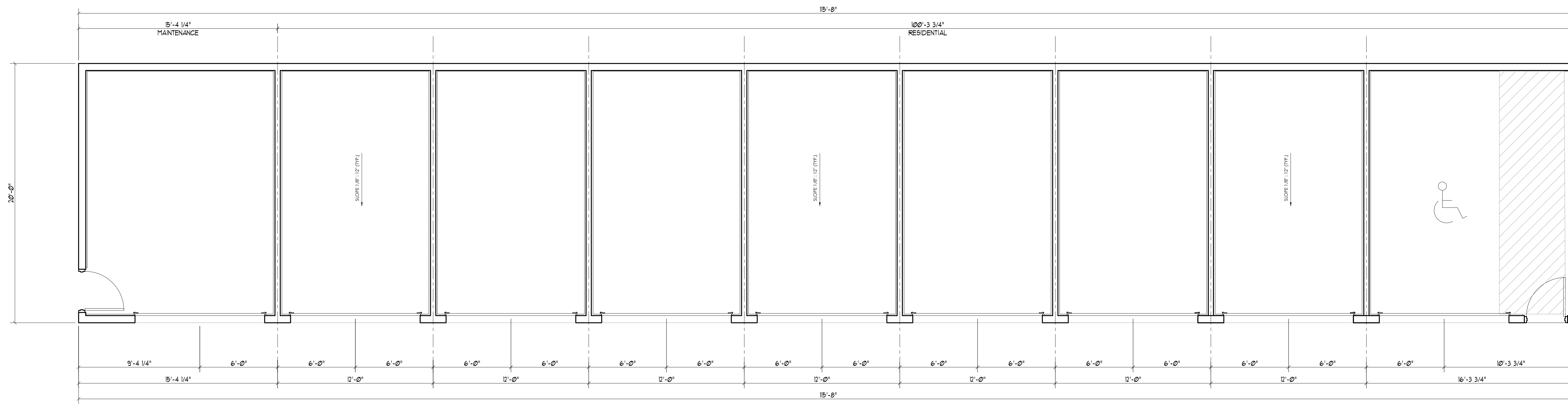
10/31/24

Luxury Living Community
The Prairie Encore
RESIDENT CARPORT and GARAGE
Dardenne Prairie, Missouri
1575 Bryan Road

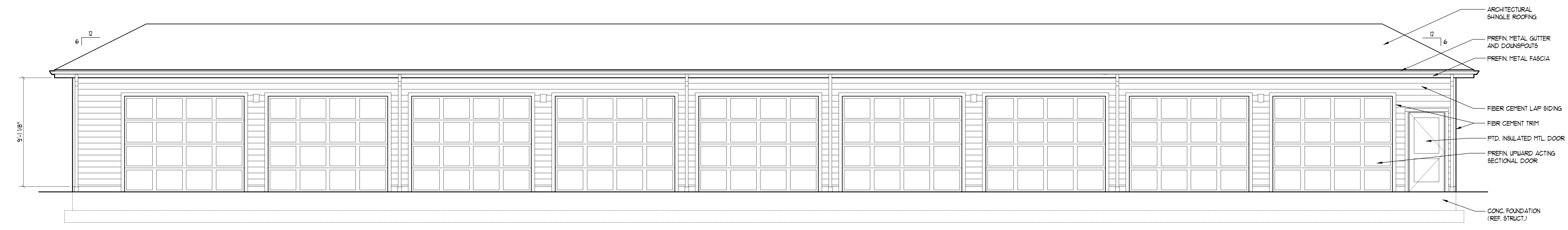
HURFORD ARCHITECTS INC.
2246 Illinois Road 157 Site 300
Glen Carbon, IL 62034
Phone 618/288-1006
Email gregg@hurfordarchitects.com

DESIGNED BY GLS	JOB NO. 2332B
DRAWN BY JMS	SHEET NO.
CHECKED BY GLS	A2-1
DATE 10/31/24	

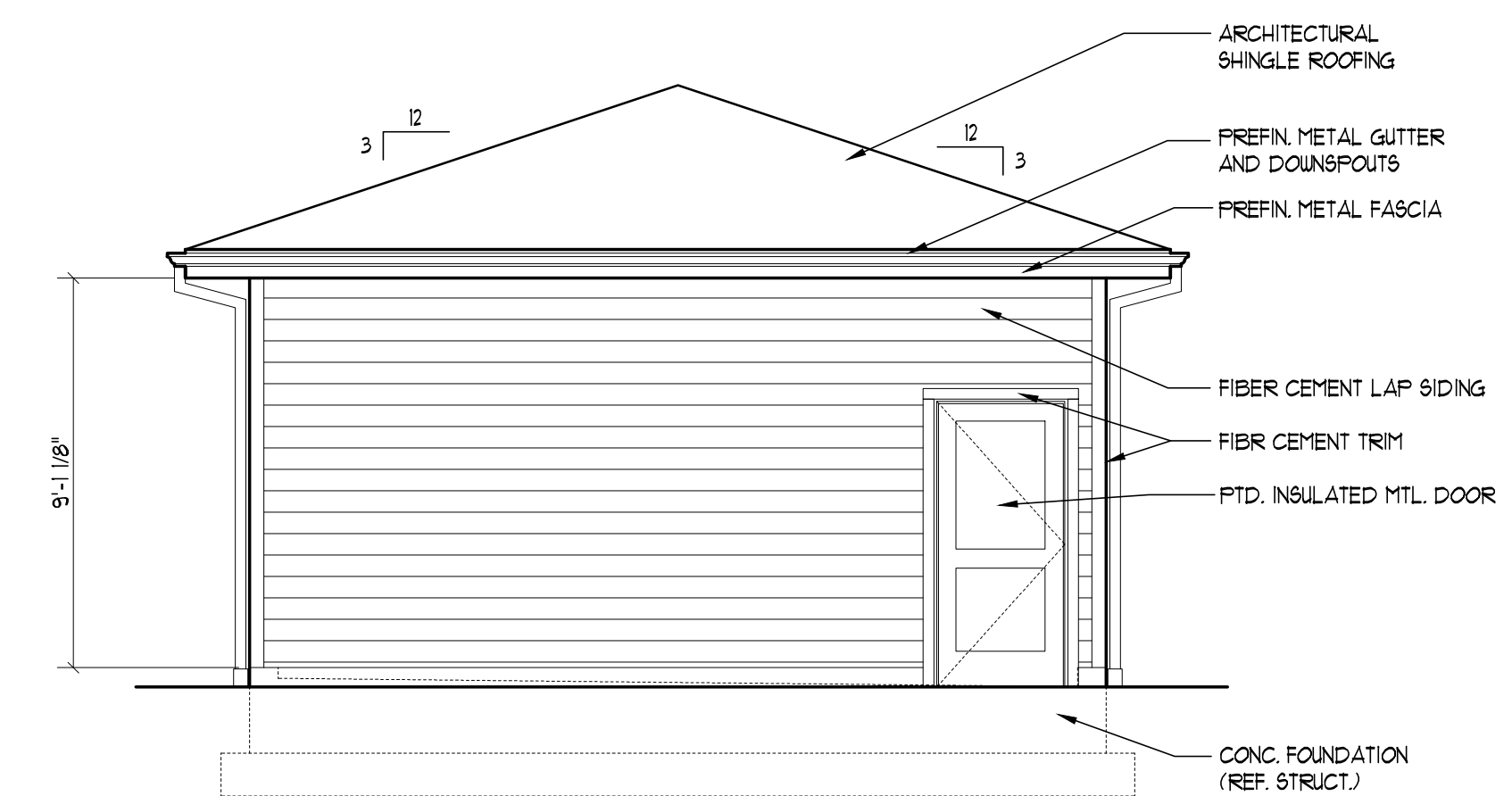
FLOOR PLAN / ELEVATIONS - CARPORT 32



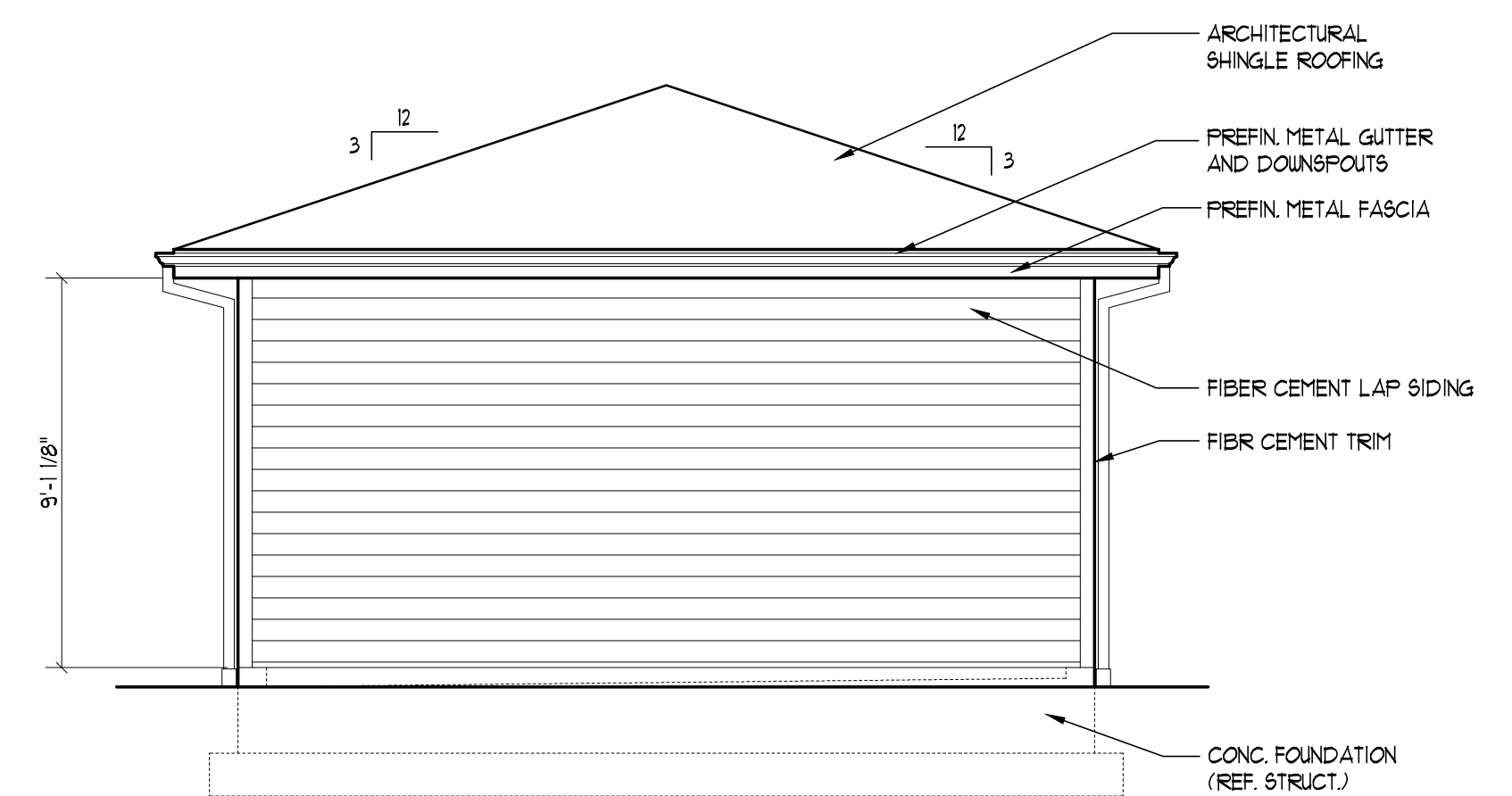
1 FLOOR PLAN
A2-2 SCALE: 1/4"=1'-0"



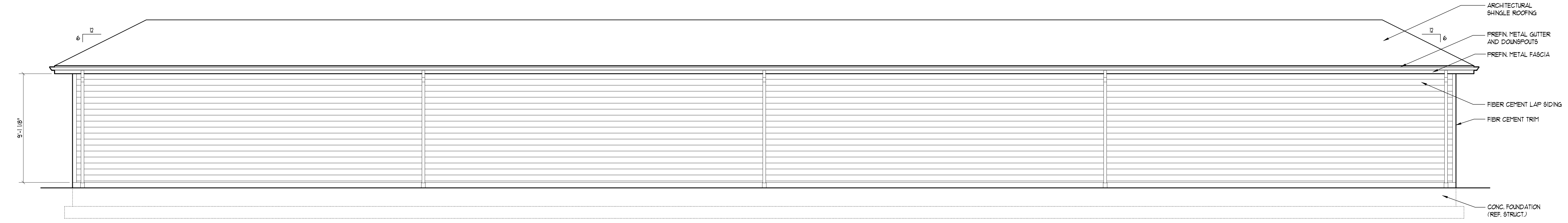
2 FRONT ELEVATION
A2-2 SCALE: 1/4"=1'-0"



3 LEFT SIDE ELEVATION
A2-2 SCALE: 1/4"=1'-0"



4 RIGHT SIDE ELEVATION
A2-2 SCALE: 1/4"=1'-0"



5 REAR ELEVATION
A2-2 SCALE: 1/4"=1'-0"

<p>REVISIONS</p>	<p>REVISIONS</p>
<p>DRAWING ISSUE</p>	<p>ISSUED FOR PERMIT</p>
<p>ISSUED FOR CONSTRUCTION</p>	<p>PREFIN. METAL GUTTER AND DOWNSPOUTS</p>
<p>ISSUED FOR CONSTRUCTION</p>	<p>PREFIN. METAL FASCIA</p>
<p>ISSUED FOR CONSTRUCTION</p>	<p>FIBER CEMENT LAP SIDING</p>
<p>ISSUED FOR CONSTRUCTION</p>	<p>FIBER CEMENT TRIM</p>
<p>ISSUED FOR CONSTRUCTION</p>	<p>PFD. INSULATED MTL. DOOR</p>
<p>ISSUED FOR CONSTRUCTION</p>	<p>PREFIN. UPWARD ACTING SECTIONAL DOOR</p>
<p>ISSUED FOR CONSTRUCTION</p>	<p>CONC. FOUNDATION (REF. STRUCT.)</p>
<p>ISSUED FOR CONSTRUCTION</p>	<p>ARCHITECTURAL SHINGLE ROOFING</p>
<p>ISSUED FOR CONSTRUCTION</p>	<p>PREFIN. METAL GUTTER AND DOWNSPOUTS</p>
<p>ISSUED FOR CONSTRUCTION</p>	<p>PREFIN. METAL FASCIA</p>
<p>ISSUED FOR CONSTRUCTION</p>	<p>FIBER CEMENT LAP SIDING</p>
<p>ISSUED FOR CONSTRUCTION</p>	<p>FIBER CEMENT TRIM</p>
<p>ISSUED FOR CONSTRUCTION</p>	<p>PFD. INSULATED MTL. DOOR</p>
<p>ISSUED FOR CONSTRUCTION</p>	<p>PREFIN. UPWARD ACTING SECTIONAL DOOR</p>
<p>ISSUED FOR CONSTRUCTION</p>	<p>CONC. FOUNDATION (REF. STRUCT.)</p>

Luxury Living Community

The Prairie Encore

RESIDENT CARPORT and GARAGE
Dardenne Prairie, Missouri
1575 Bryan Road

FLOOR PLAN / ELEVATIONS - GARAGE 8

HURFORD ARCHITECTS, INC.

2246 Illinois Route 157, Suite 300
Glen Carbon, IL 62034
Phone: 618/288-1006
Email: gregg@hurfordarchitects.com

DESIGNED BY: **GLS**

DRAWN BY: **JMS**

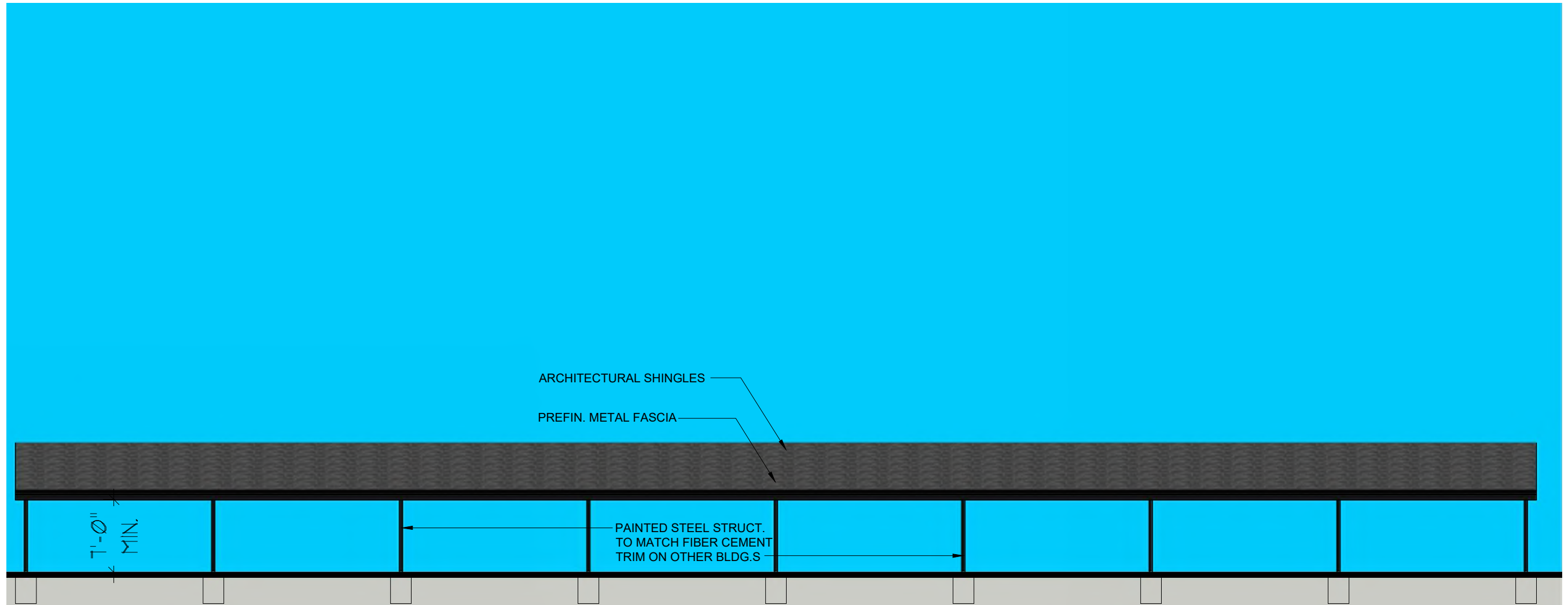
CHECKED BY: **GLS**

DATE: **10/31/24**

JOB NO. **2332B**

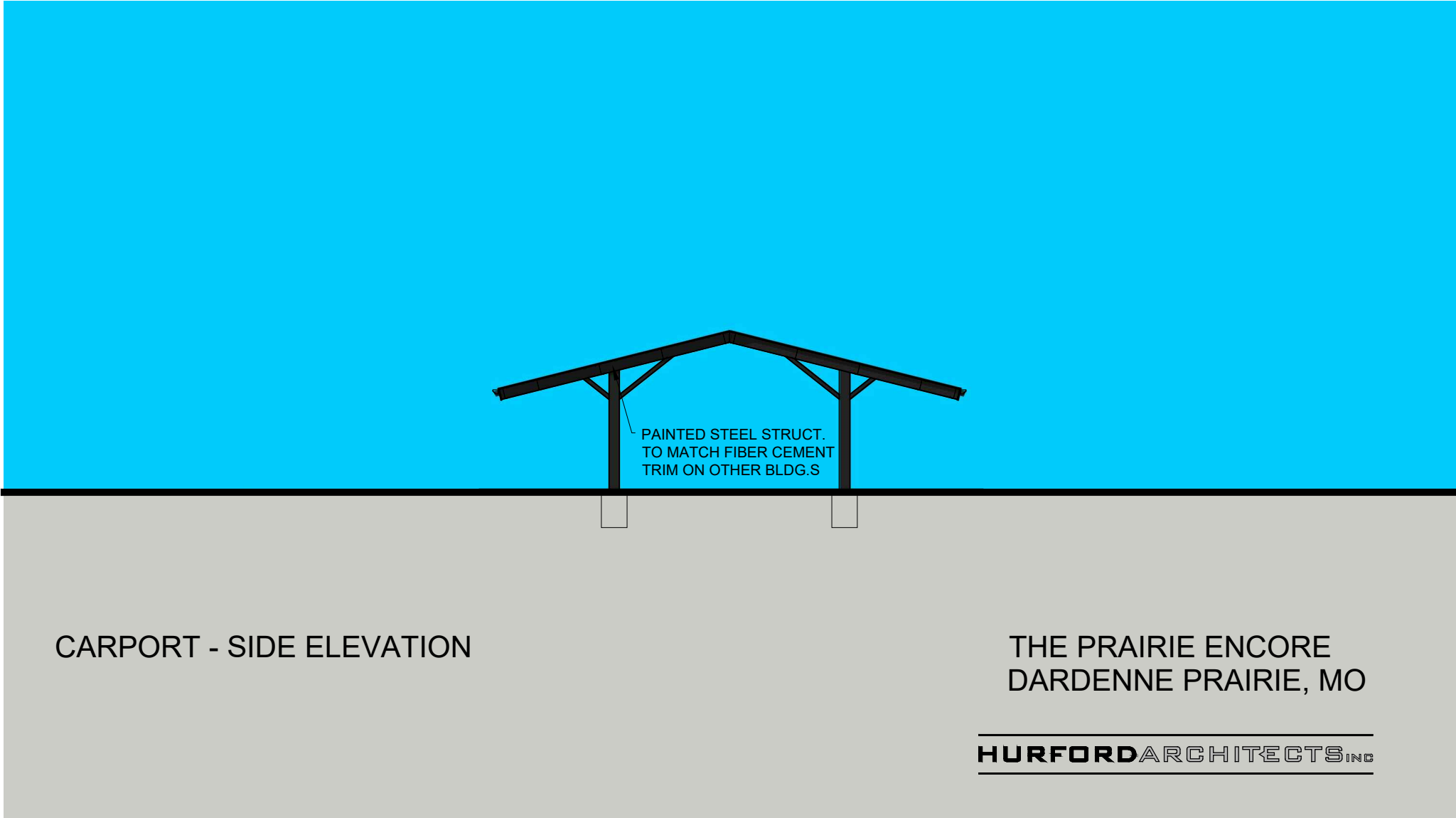
SHEET NO. **A2-2**

DATE: **10/31/24**



CARPORT - FRONT & REAR ELEVATION

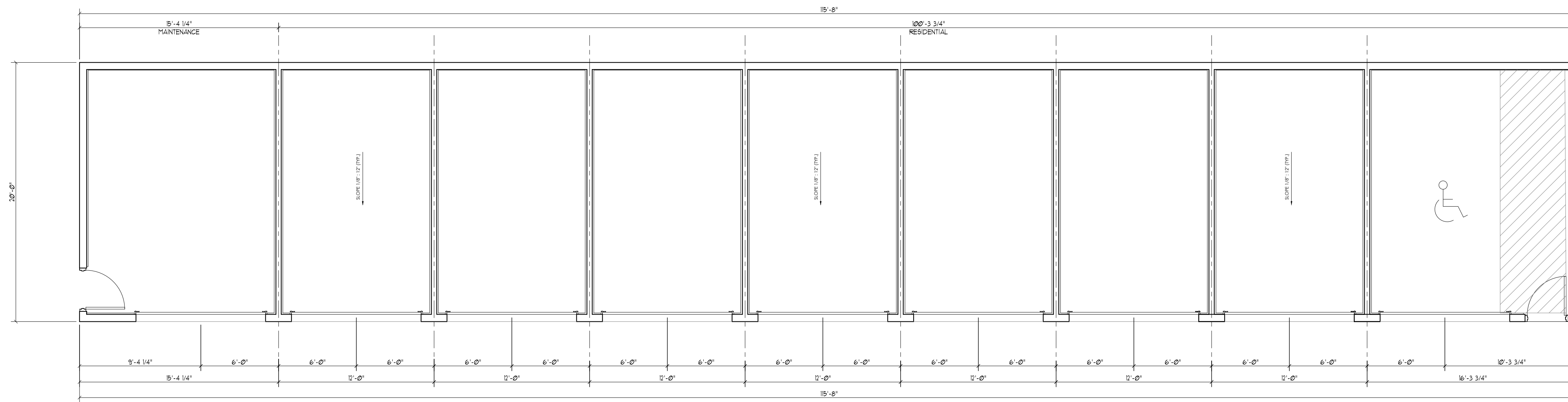
THE PRAIRIE ENCORE
DARDENNE PRAIRIE, MO



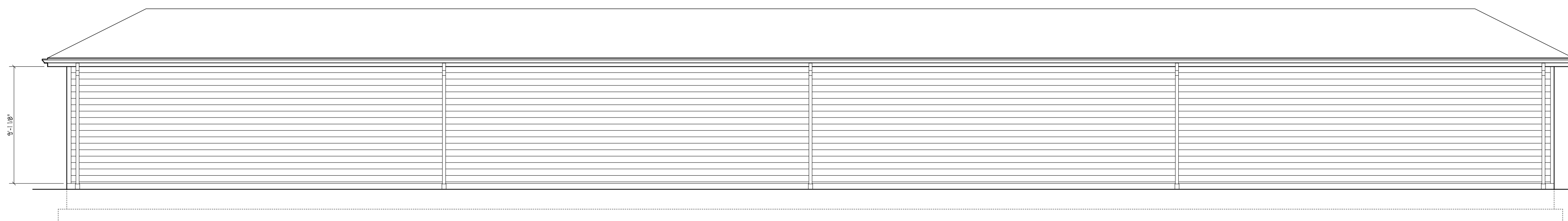
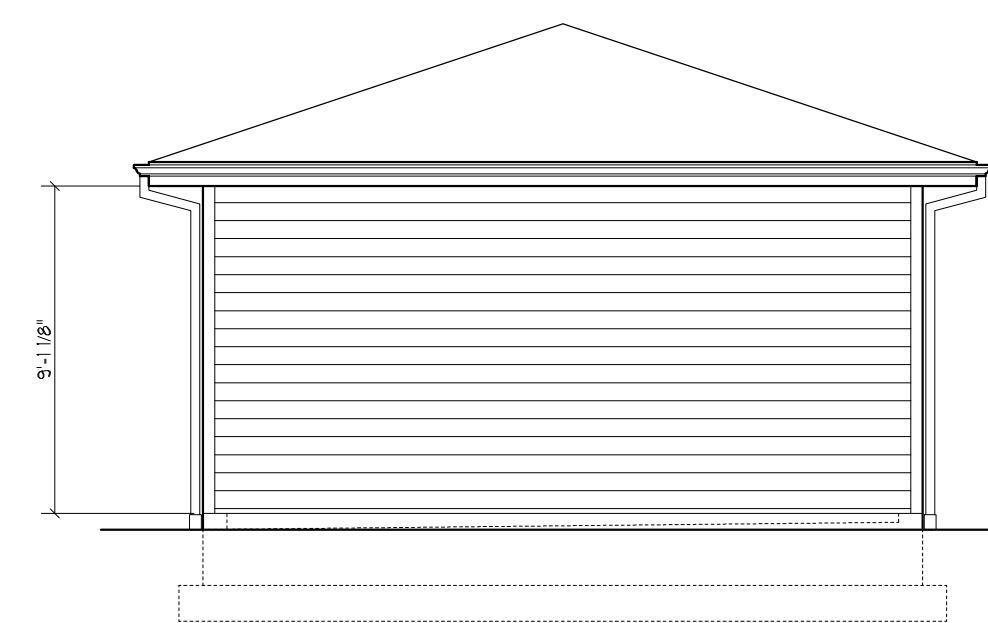
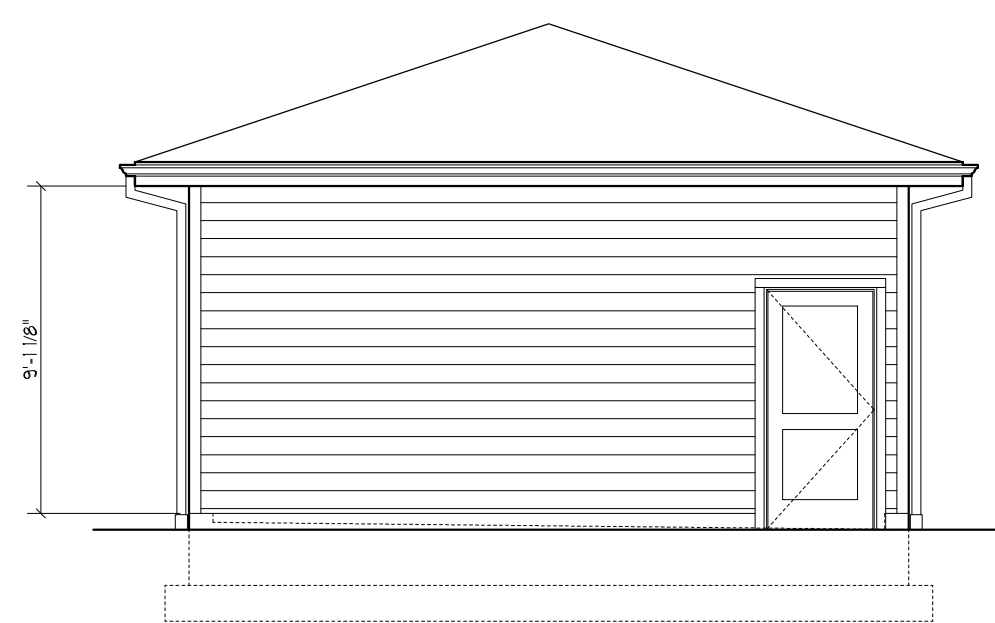
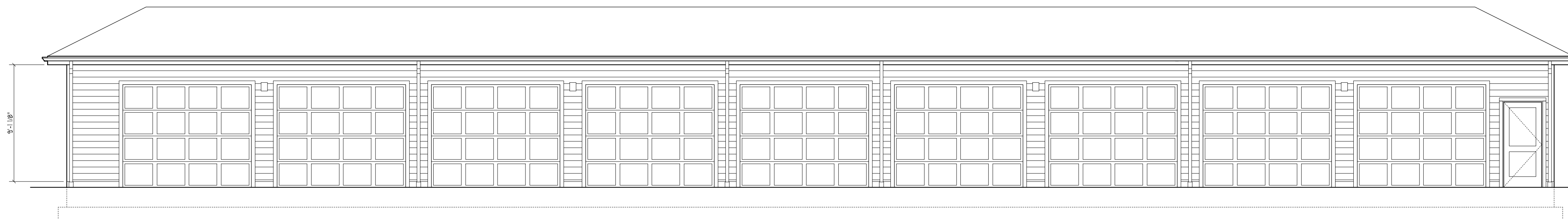
CARPORT - SIDE ELEVATION

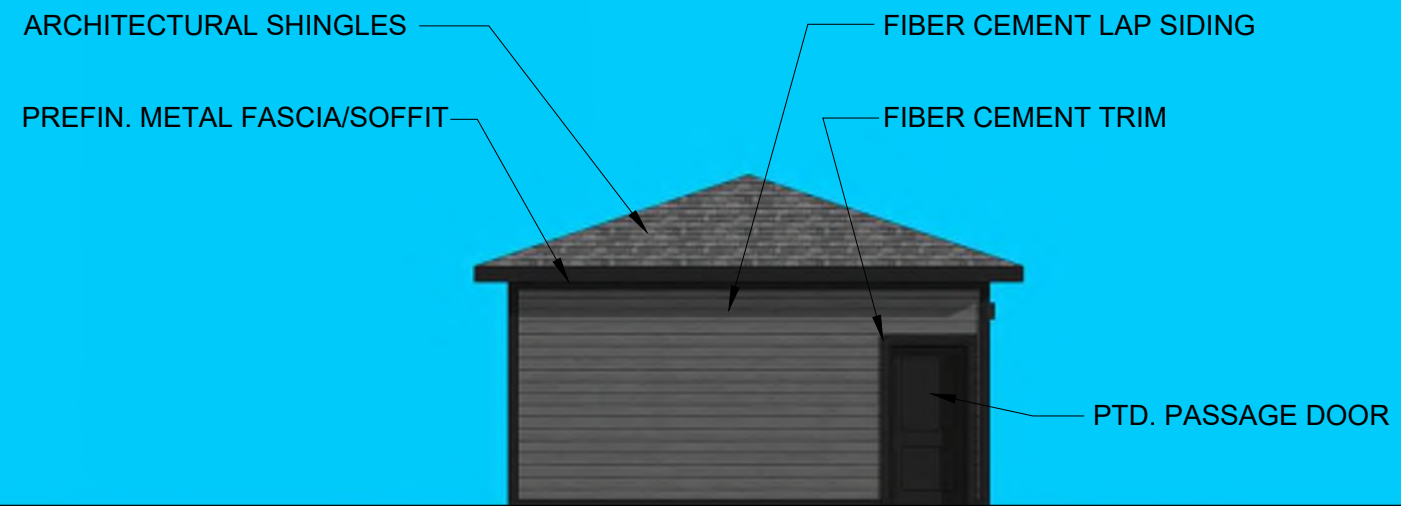
THE PRAIRIE ENCORE
DARDENNE PRAIRIE, MO

HURFORDARCHITECTSINC



RESIDENT GARAGE - 8





GARAGE - LEFT SIDE ELEVATION

THE PRAIRIE ENCORE
DARDENNE PRAIRIE, MO

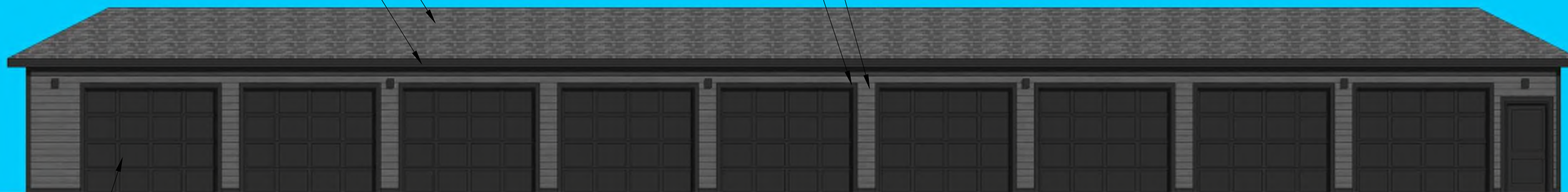
HURFORDARCHITECTS_{INC}

ARCHITECTURAL SHINGLES

FIBER CEMENT LAP SIDING

PREFIN. METAL FASCIA/SOFFIT

FIBER CEMENT TRIM



PREFIN. METAL SECTIONAL
UPWARD ACTING OVERHEAD DOORS

GARAGE - FRONT ELEVATION

THE PRAIRIE ENCORE
DARDENNE PRAIRIE, MO

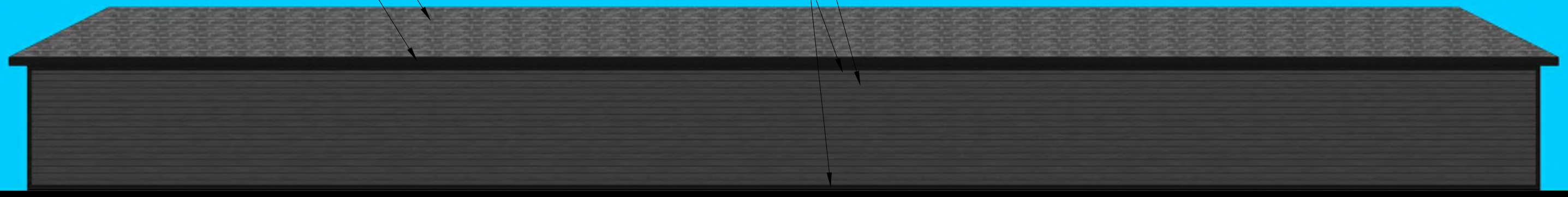
HURFORDARCHITECTSINC

ARCHITECTURAL SHINGLES

FIBER CEMENT LAP SIDING

PREFIN. METAL FASCIA/SOFFIT

FIBER CEMENT TRIM



GARAGE - REAR ELEVATION

THE PRAIRIE ENCORE
DARDENNE PRAIRIE, MO

HURFORDARCHITECTS_{INC}

The City of Dardenne Prairie Planning & Zoning Commission meeting was called to order at 7:03 p.m. The meeting was held at the Dardenne Prairie City Hall located at 2032 Hanley Road.

The meeting was opened with the Pledge of Allegiance.

Present at roll call were Alderman Detweiler, Chairman Etkorn, Commissioners Bailey, Musler, Pollard, Stankovich and Wooldridge. Commissioners Ogle, Fry and Northcutt were absent. Also present were City Clerk Kim Clark, City Administrator Cathy Pratt, City Planning & Development Manager Todd Streiler and City Attorney Drew Weber.

Chairman Etkorn mentioned his term will expire in November 2025 and he is also in the process of moving in the future. He will be here through 2025. Having said that anyone wishes to nominate him for office and if he were to be elected, he will be glad to serve.

ELECTION OF CHAIRMAN

Commissioner Musler nominated Mike Wooldridge as Chairman. With no additional nominations, roll call for Mike Wooldridge as chairman was as follows:

- | | |
|-----------------------------------|----------------------------|
| Chairman Etkorn – Aye | Commissioner Bailey – Aye |
| Commissioner Stankovich – Aye | Commissioner Fry – Absent |
| Commissioner Wooldridge – Abstain | Commissioner Musler - Aye |
| Commissioner Pollard – Aye | Commissioner Ogle – Absent |
| Commissioner – Northcutt – Absent | |

ELECTION OF VICE-CHAIRMAN

Commissioner Wooldridge nominated Rich Musler as Vice-Chairman. With no additional nominations, roll call for Rich Musler as vice-chairman was as follows:

- | | |
|---------------------------------|-------------------------------|
| Commissioner Pollard – Aye | Commissioner Fry – Absent |
| Commissioner Northcutt – Absent | Commissioner Musler – Abstain |
| Commissioner Bailey – Aye | Commissioner Ogle – Absent |
| Chairman Etkorn - Aye | Commissioner Wooldridge – Aye |
| Commissioner Stankovich - Aye | |

ELECTION OF SECRETARY

Commissioner Wooldridge nominated Pam Pollard as Secretary. With no additional nominations, roll call for Pam Pollard as Secretary was as follows:

- | | |
|---------------------------------|-------------------------------|
| Commissioner Pollard – Abstain | Commissioner Fry – Absent |
| Commissioner Northcutt – Absent | Commissioner Musler – Aye |
| Commissioner Bailey – Aye | Commissioner Ogle – Absent |
| Chairman Etkorn - Aye | Commissioner Wooldridge – Aye |
| Commissioner Stankovich - Aye | |

PUBLIC COMMENT – No one present to speak.

PUBLIC HEARINGS

A motion was made by Commissioner Wooldridge, seconded by Chairman Etkorn to open the public hearings. Motion passed unanimously.

1. Amended PUD Area Plan Request – Town Square Apartments

Cliff Heitmann of Bax Engineering and John MCarthy were in attendance to present the plan.

A motion was made by Commissioner Musler, seconded by Commissioner Bailey to close the public hearing. Motion passed unanimously.

2. Amended PUD Area Plan Request – Condos at Town Center

Kumara Vandivelu of Azack Construction was in attendance to present the plan.

A motion was made by Commissioner Bailey, seconded by Commissioner Stankovich to close the public hearing. Motion passed unanimously.

3. “C-3” Rezoning to “C-3” PUD and Area Plan – Town Square (Mercy)

George Stock of Stock & Associates Consulting Engineers, Inc. was in attendance to present the plan.

A motion was made by Commissioner Wooldridge, seconded by Commissioner Pollard to close the public hearing. Motion passed unanimously.

NEW BUSINESS

1. Amended PUD Area Plan Request – Town Square Apartments

A motion was made by Commissioner Wooldridge, seconded by Commissioner Musler to recommend approval of the PUD Area Plan request with the following conditions:

No garage or carports be incorporated into the plan

A lighting detail, landscape detail and stormwater plan be provided with the final plan submittal

Architectural detail be included including height and materials to be used and all faces of building be included with the final plan

A motion was made by Commissioner Musler, seconded by Commissioner Wooldridge to amend the motion to include the drive aisle be connected to the east. Roll call was as follows:

Commissioner Wooldridge – Aye

Commissioner Ogle – Absent

Commissioner Fry – Absent

Commissioner Stankovich – Aye

PLANNING & ZONING MINUTES

DECEMBER 11, 2024

Chairman Etzkorn – Aye
Commissioner Musler – Aye
Commissioner Bailey – Aye

Commissioner Northcutt – Absent
Commissioner Pollard – Aye

Roll call vote on the motion was as follows:

Chairman Etzkorn – Aye
Commissioner Stankovich – Aye
Commissioner Wooldridge – Aye
Commissioner Pollard – Aye
Commissioner – Northcutt – Absent

Commissioner Bailey – Aye
Commissioner Fry – Absent
Commissioner Musler - Aye
Commissioner Ogle – Absent

2. Amended PUD Area Plan Request – Condos at Town Center

A motion was made by Commissioner Wooldridge, seconded by Commissioner Bailey to recommend approval of the amended PUD Area Plan dated 11-15-24. Roll call was as follows:

Commissioner Pollard – Aye
Commissioner Northcutt – Absent
Commissioner Bailey – Aye
Chairman Etzkorn – Aye
Commissioner Stankovich – Aye

Commissioner Fry – Absent
Commissioner Musler – Aye
Commissioner Ogle – Absent
Commissioner Wooldridge – Aye

3. “C-3” Rezoning to “C-3” PUD and Area Plan–Town Square (Mercy)

A motion was made by Commissioner Wooldridge, seconded by Commissioner Stankovich to recommend approval of the rezoning and area plan for lot 12C dated 12-05-24. Roll call was as follows:

Commissioner Bailey – Aye
Commissioner Ogle – Absent
Commissioner Pollard – Aye
Commissioner Wooldridge – Aye
Commissioner Fry - Absent

Chairman Etzkorn – Aye
Commissioner Musler – Aye
Commissioner Northcutt – Absent
Commissioner Stankovich – Aye

4. Final Plan Request – Prairie Ridge Animal Hospital

A motion was made by Commissioner Bailey, seconded by Commissioner Musler to recommend approval of the final plan request dated 11-27-24. Roll call was as follows:

Commissioner Wooldridge – Aye
Commissioner Ogle – Absent
Chairman Etzkorn – Aye
Commissioner Musler – Aye
Commissioner Bailey – Aye

Commissioner Fry – Absent
Commissioner Stankovich – Aye
Commissioner Northcutt – Absent
Commissioner Pollard – Aye

5. 2025 Submittal & Meeting Calendar

A motion was made by Commissioner Bailey, seconded by Commissioner Wooldridge to approve the 2025 Submittal & Meeting Calendar. Motion passed unanimously.

APPROVAL OF MINUTES

1. Approval of 11-13-24 Minutes
2. Approval of 11-13-24 Work Session Minutes

A motion was made by Commissioner Wooldridge, seconded by Commissioner Stankovich to approve the 11-13-24 minutes and the 11-13-24 work session minutes. Motion passed unanimously.

COMMISSION COMMUNICATIONS - None

ADJOURNMENT

Without objection, the meeting was adjourned at 7:36 p.m.

Respectfully submitted,

Kim Clark, City Clerk

The City of Dardenne Prairie Planning & Zoning Commission work session meeting was called to order at 6:02 p.m. The meeting was held at the Dardenne Prairie City Hall located at 2032 Hanley Road.

The meeting was opened with the Pledge of Allegiance.

Present at roll call were Alderman Detweiler, Chairman Etzkorn, Commissioners Bailey, Musler, Pollard Stankovich and Wooldridge. Commissioners Ogle, Fry and Northcutt were absent. Also present were City Clerk Kim Clark, City Administrator Cathy Pratt, City Planning & Development Manager Todd Streiler and City Attorney Drew Weber.

ITEMS FOR DISCUSSION

1. Amended PUD Area Plan Request – Town Square Apartments
2. Amended PUD Area Plan Request – Condos at Town Center
3. “C-3” Rezoning to “C-3” PUD and Area Plan–Town Square (Mercy)
4. Final Plan Request – Prairie Ridge Animal Hospital
5. 2025 Submittal & Meeting Calendar

ADJOURNMENT

A motion was made by Commissioner Musler, seconded by Commissioner Wooldridge to adjourn the meeting at 6:57 p.m.

Respectfully submitted,

Kim Clark, City Clerk